

# REAL ESTATE BUILDERS' RECORD & GUIDE

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## The Revised Code

FEW BOOKS have been so well perused this week in New York as the Revised Building Code. It is the book of the hour for owners and builders, architects and engineers. Concerning the general plan and structure of the work, it may be re-

marked in the first place that it is not a new code, in the sense of being a complete departure from the old model and of taking nothing from the common stock of building regulations, but is simply a revision of the old book, following upon the same lines, and with much the same arrangement; but there has been added a great deal that is absolutely new and several features quite revolutionary. The old ordinance asked to be construed liberally, but this code declares there shall be no modifications of its requirements—except as provided for in the Charter, and such interpretations as the Superintendent of Buildings may make under that authority must be taken as precedents in future cases. Evidently if the commissioners could have eliminated discretionary power absolutely they would so have done. This is one of the most striking and important points of difference between the two ordinances. Another relates to registered constructors. No one will be permitted to file plans and specifications for the erection of a building without being registered at the Building Department, and in order to register he must hold a certificate of competency from a Board of "Constructors' Examiners," to be appointed by the Mayor. This registered constructor not only files the plans and statement before the erection of the building, but he also, upon the completion of the work, must make affidavit that it has been done in accordance with the plans and specifications. The present ordinance allows either an owner, lessee, agent, architect or builder to file the plans and statement of specifications, but hereafter, by the new code, it must be one who will be able to swear when the contract is finished that it has been done in accordance with the law. The necessity of having works inspected from the Building Department will seemingly no longer exist, as the registered constructor, or supervisor of the work, will be the responsible individual. The departmental inspector of construction work is not eliminated in terms, but it is obvious that his duties have virtually been delegated to another, who is responsible, not to the Superintendent of Buildings, but to the Board of Constructors' Examiners, which alone has power to cancel his certificate of competency, according to our reading of the text. Under the revised code the registered constructor would become an extremely important figure in metropolitan building, so much so that it is difficult to anticipate all the possibilities and consequences.

## Limitations for Concrete Construction

THE DEFINITIONS AND CLASSIFICATIONS of the new revision of the Building Code constitute another of its important features. The old ordinance recognized the existence of an "apartment house," and there has been some curiosity

as to whether the commission would make, or recommend, a distinction in terms between a tenement house and an "apartment house." The answer is in the negative: every residence building occupied by three or more families is a tenement house, as defined in the Tenement House Act. A hotel is "a residence building, other than a tenement house, containing more than fifteen sleeping rooms," regardless of whether it is intended, designed or used for supplying food

and shelter. Definitions become extremely important when the law is rigidly applied. In the official classification all structures in which sleeping accommodations are provided are termed "residence buildings," and fall under Class C, which includes what are commonly called dwellings, boarding houses, tenement houses, hotels, apartment houses, hospitals, lodging-houses, club-houses, studios, convents, dormitories, police stations, fire houses and jails. It is apparent that the largest part of construction work will come under Class C. Mercantile buildings, such as lofts, warehouses and stores, also factories and workshops, printing houses, storage buildings, power stations and garages,—and intended to include all buildings used in the manufacture, sale and storage of inflammable products—are termed "special hazard buildings" and designated as "Class E." Here it is important to note that all buildings required to be of fireproof construction under the revised code in Class E must be of "first-class construction," and what is meant by first-class construction is described in precise terms in Section 112: that "the fireproof floor and roof construction between the steel beams shall be in the form of segmental arches," to be composed of "Portland cement concrete, brick or hollow tile or hard-burned clay, or semi-porous or porous terra-cotta." The import to some firms engaged in fireproof construction is more fully set forth in a letter from Mr. Guy V. Waite in another column. Reinforced concrete construction is provided for under Section 117. Buildings designed in accordance with the requirements of this section will be deemed to be fireproof and permissible under the code, "as second-class construction." But as only "first-class construction," so called, "can be used in Class E buildings." Reinforced concrete is consequently debarred from that field.

## Larger Building Costs

FOR PUBLIC BUILDINGS, theatres and places of assemblage, the regulations in the code which went into effect December 23, 1899, are followed closely, particularly with reference to open side courts or spaces, with corridors to the street. In instances where the old law is not definite in terms the provisions are amended by inserting requirements evidently suggested by the rules of the National Board of Fire Underwriters. Under the head of quality of materials it is noticed that the revised code recognizes two kinds of Southern yellow pine—shortleaf as well as longleaf, and more particularly such species as North Carolina pine and loblolly pine; and if Cuban, shortleaf and loblolly pine is grown under conditions that it produces a large percentage of hard summer wood, "so as to be equivalent to the wood produced by the true longleaf, it would be covered by the term 'longleaf.'" The significance of this will be understood when it is recalled that intimations were given some time ago that shortleaf or loblolly pine timber would be barred by the terms of the new code. But, in the matter of concrete, the new code makes a decided change, in specifying that concrete shall be made of "Portland cement," instead of merely "cement," with sand, broken stone or gravel. This eliminates from "concrete" construction the old natural cement, though it is not prohibited for cement mortar. Another feature of the new ordinance consists in the provisions for guarding window openings. The window-route will not be so easy for conflagrations in the future. As noted last week the fire limits of the city are extended, but detached frame building is not prohibited when not more than eighty per cent. of the lot frontage is occupied. Building height for office structures is limited for the first time in the history of the city, and if the new regulations are upheld the ultimate effect will be to spread the business section. A natural consequence of revising a building code is to increase building costs rather than diminish them, and this must mean in the end higher renting schedules. It would be interesting to know what the exact difference in cost would be for a building under Class E, for example—how much more it would cost to erect under the new law than under the old?

## "Bridges and the Art Commission."

To the Editor of the Record and Guide:

I am surprised to find you willing to publish the two opening editorial paragraphs of your issue of last week. In them you chide, softly, and it is true, and much more in sorrow than in anger, a contributor to the Architectural Record for an article about "Bridges and the Art Commission," and incidentally but necessarily the editor of that periodical for admitting that contribution.

This in itself is rather puzzling. Which periodical is Mentor and which Telemachus? Or do they perhaps take turns? In

that case the reader ought to be warned beforehand, so that he may avoid the painful mistake made by a New York theatrical audience which, when the curtain rose upon the supposedly reputable and dignified "Dr. Jekyll," received him with roars of execration as "Hyde."

The case you make against your contemporary and its contributor is that since the Boller design for the Hudson Memorial Bridge was rejected, and last month, which is to say, after the peccant article was written and put in type, another design was submitted to the Art Commission upon which that body has not acted, but which the Bridge Commissioner thinks much better than the one he submitted before. As to the East River Connecting Bridge, if Mr. Lindenthal will leave out his architecture, it appears that the Commission will shut their eyes to the demerits of his purely utilitarian structure. But how can he leave out the architecture if, as I am advised, the towers are necessary as abutments? And how is he to know what form or formlessness in masses which exist solely for the sake of their resistance to thrust will meet the views of the Commission?

Now about that other design for the Hudson Memorial Bridge which "experts," including the Bridge Commissioner, find "greatly superior to the earlier." It has nothing to do with the case of the "R. & G." against the "A. R.," since it did not exist when the article in question was written. Artistically it seems that in its superstructure it is an imitation of masonry in metal. Is a sham of that kind, in the opinion of the Art Commission, quite the thing for a "monumental" bridge? But it also seems there are engineering questions involved as to the practicability of the construction, and I have sought for engineering opinions upon those. One engineer writes me that "a reinforced concrete arch of 700 feet span is nothing but a very expensive experiment," and that "there is no more necessity for a concrete arch bridge of 700 feet than there is for one of cheese, when a beautiful bridge can be built of steel for one-third the cost and of assured safety." Another engineer has been kind enough to go into the engineering questions thoroughly, and at length, in the statement which I subjoin, and which is so admirably lucid a piece of exposition that any layman can follow it to its conclusions. I commend it to you as worthy your attention and that of your readers, if not that of the Art Commission. M. S.

#### The Hudson Memorial Bridge.

This structure, as described in Engineering News Nov. 21, proposes as the great central feature a composite concrete structure consisting of a so-called reinforced concrete arch, 725 ft. span, centre to centre of spring lines, with a rise of 177 ft., surmounted by a steel arcade and roadway cased in with concrete so as to give a stone effect.

The arch ring is 15 ft. deep at the crown and 25 ft. deep at the springings, and 70 ft. in width. Disposed within the arch ring are 48 steel box girders, all sides latticed, and the whole latticed together, and estimated at 8,500 tons in weight.

Is the above construction practicable?

1. The chasm of the river crossing has a water depth of 24 ft. and 60 ft. of soft bottom before sand is reached; into this bottom false-works must be established to carry the concrete arch weighing (without steel) 100 tons per lin. ft., and an opening for navigation provided of at least 75 ft. clear water.

2. Reinforced concrete calls for a very small percentage of theory and a very large percentage of sound judgment and practical experience. It is predicated upon the ability to make a work monolithic with a perfect bond between the cement and steel reinforcement bars. This necessitates rapid, continuous work, so that the steel becomes buried in its proper place in the soft concrete before hardening, or otherwise all theory of proposition has gone by the board, with disastrous results.

3. The compressive value of concrete is determined from carefully conducted laboratory experiments on cubic specimens, which can hardly be expected to hold in great masses under practical conditions of placement.

Authorities differ as to the factor of safety or working compressive strength permissible. The usual practice is not to compress stonework beyond 1-6 or 1-10 the experimental ultimate strength. Portland cement concrete 1-2-4, as proposed to be used, experiments show an ultimate compressive strength of from 1,000 lbs. per sq. inch in 10 days to about 3,000 lbs. per sq. inch at the end of a year, with possibly 2,000 lbs. at the end of 30 days.

Allowing 1-6 crushing strength of the above concrete, as a working value, at the end of a year there results 500 lbs. per sq. inch as the maximum or prudent safe basis in proportioning work, or a little over 300 lbs. at the end of thirty days.

Applying the above statement of facts to the proposed arch it would appear:

A. This arch would be beyond all precedent, being over three times the span of any concrete arch hitherto built, and dependence is placed on highly refined mathematical analysis, predicated upon certain assumptions and the ability to put it in space according to the figures, as designed on paper.

B. The enormous weight involved makes an unyielding falsework centering, in the soft river bottom, a very serious proposition, to which is attached more or less risk, especially considering the long time such a centering must be maintained, until the concrete is at least a year old.

C. The arch is of such huge proportion and massive volume that there is no mechanical device that can be designed that will enable a rapid and continuous depositing of the concrete necessary for a monolithic construction (on which the mathematics are based), to say nothing of the impossibility of making a vital bond between the steel and wet concrete, that must be at all times preserved.

D. The working pressure on the concrete (750 lbs. per sq. inch), adopted to save material and weight, is excessive for such a work, particularly in view of the comparatively slow and piecemeal manner in which it would have to be placed, coupled with the uncertain resulting value in such great masses of concrete that have to be worked in and around such a network of steel.

E. The question of cost is of no moment with the Art Commission which has to pass on the design, as long as its aesthetic taste is

satisfied, but it is interesting to know that the "estimated" cost of this arch with its approaches is \$3,800,000, a cost not developed out of reasonably studied detailed drawings, but "judged" from a general layout—a figure with which well developed working drawings would play havoc.

In view of the above considerations, it would appear that the proposed concrete arch is a visionary proposition, and worse than a mistake for the City of New York seriously to consider. The taxpayers should loudly protest. The lamentable failure of the huge Quebec Bridge is a sad calamitous warning against too great a confidence in figures, unbacked by a sound judgment. It is all very well to reason from small work. Numerous reinforced concrete arches have been built over the land and in other countries. But in making one jump from extreme existing experience to such a vast scale as that on which the arch under review is planned, entirely new considerations arise of a practical nature that vitiate all conclusions of mere mathematical theory.

#### Fireproofing in the New Code.—II.

To the Editor of the Record and Guide:

I beg to call the attention of the readers of your paper to the proposed new building code now before the Board of Aldermen. This code has been rushed before the Aldermen without consulting the interests of real estate and property owners, whom it most vitally affects.

If this code becomes a law as printed in the City Record of Dec. 6, 1907, all real estate values on which fireproof buildings are hereafter erected will have to undergo readjustment. The steel and fireproof construction in such buildings will cost about 50% more than at present.

In section 31, all buildings are classified, and in sections 112 and 113 the fireproof construction for each class is specifically stated. All important buildings would have only one kind of arches in floors, i. e., segmental arches. The specification on concrete segmental arches is so unusual as to reinforcements, furrings around beams and girders, etc., that the construction would be limited to the hollow tile construction. All level ceilings could be had only by means of metal lath supported ceilings, the details of which would limit this construction to one contractor. In the second class buildings (see section 113) the specifications for concrete have the same objections as in first-class construction: the only floors here permissible would be flat hollow clay blocks.

In section 111 steel beams are limited in spacing to 5 ft. centres on all first-class buildings. With the heavier and more expensive arch; with the steel beams limited in spacing; with the extra cost of a metal lath ceiling; with the scratch coat of plaster; and with the monopoly which would probably be created, readers can draw their own conclusions as to the probable costs of fireproof buildings.

If good constructions, which stand approved after severe testing, and which have been used as standard constructions in more than 50% of the fireproof buildings in New York City for the last two years, are to be discontinued, your readers should have a chance to ask why.

If this code is to become law as published, section 117 relating to reinforced concrete structures should be eliminated because all buildings have been classified and the construction for each class has been specified in previous sections.

Also the absurdity in section 115 referring to tests to compare with some standard, not yet known, should be cut out, to save the cost of printing, as everything has been provided for in previous sections and there would be nothing left for such tested construction.

These are a few of the many things your readers should be interested in which are contained in the code as published in the City Record referred to. Very truly,

GUY V. WAITE.

#### A Protest From the Concrete Industry.

President H. C. Turner, of the Turner Construction Co., has sent the following letter to President McGowan, of the Board of Aldermen in protest against the adoption of the report of the Committee on Buildings containing the revised building code:

Dear Sir: We have made a careful examination of the proposed building code reported to the Board of Aldermen on Dec. 2, and beg to state that should this code be approved great hardship and injustice would result to the concrete industry. We beg to call your attention to the following portions of the code:

Section 112, first class construction, requires structural steel framework with steel floor beams spaced not farther apart than 5 ft. on centres.

Section 113, second class construction, requires structural steel framework with steel beams spaced not farther apart than 8 ft. on centres.

Section 117, reinforced concrete construction is classed as second class construction. That is, it is to be assumed from this section that reinforced concrete buildings could be constructed in all cases where the code specifies second class construction. This section also contains the following: "No reinforced concrete construction shall be carried on during freezing weather." This prohibition would prohibit all concrete construction between about December 1 and March 1. It is well known that reinforced concrete work can be carried on with perfect safety and with entirely satisfactory results during the

(Continued on page 964.)

# THE REALM OF BUILDING.

## Mr. Babbage Urges Time for Consideration.

To the Editor of the Record and Guide.

I write to call your attention to the proposed Building Code which was submitted to the Board of Aldermen on December 2d, the consideration of which was postponed for two weeks. The provisions of this Code are of great interest and importance to owners of real estate throughout the city. It is very important, however, in my opinion, that the Code receive careful attention before its adoption, so that such criticisms as may be proper may be presented.

In preparing a document of this kind, there must necessarily creep into it provisions which do not contemplate all the emergencies of building or the circumstances relating to the improvement of certain parcels. The most important provisions of this Code, so far as real estate values are concerned, are contained in the provisions in relation to LIGHT AND VENTILATION, HEIGHT and AREA and the general provisions in relation to STAIR-CASES.

The provisions in relation to COURT-YARDS and in relation to height and area should be considered together. Their tendency is to increase the value of property on which high buildings have already been erected and to largely diminish the value of properties which have not as yet been improved.

Any person or corporation owning a plot of vacant ground or owning a plot occupied by buildings which are merely maintained for the purpose of paying taxes or carrying charges until some permanent improvement can be arranged for, WILL SUFFER GREATLY BY THE RESTRICTIONS IMPOSED BY THIS CODE.

I write this letter so as to suggest to you the importance of a free discussion of the provisions of this Code in your columns.

Yours truly,

R. G. BABBAGE,

(Vice-President of the U. S. Realty & Improvement Co.)

### LIGHT AND VENTILATION.

The intended new requirements under the head of "light and ventilation," which is one of the important divisions pointed out by Mr. Babbage, are contained in Sections 33 and 34 of Part VI. The first of these two sections deals with residence buildings, and reads, in full, as follows:

Sec. 33. Light and Ventilation of Residence Buildings, Class "C."—The provisions of this section shall apply to all residence buildings, except tenement houses and lodging houses.

Behind every such building hereafter erected there shall be a yard, extending across the entire width of the lot, at every point open from the ground to the sky unobstructed, except that when there are no sleeping rooms in the first story or basement, the yard may start at the level of the second story floor beams.

Except upon a corner lot, the depth of said yard measured from the extreme rear wall of the building to the rear line of the lot shall be not less than 10 ft. in every part, for buildings 60 ft. or less in height; and in the case of buildings over 60 ft. in height, said yard shall be increased in depth 6 ins. for every additional 12 ft. of height or fraction thereof above 60 ft.

In the case of such buildings hereafter erected upon corner lots, no yard shall be required behind the buildings, if a duct, open to the air, be provided not less than 10 ft. in width by 20 ft. in height from either street to the open yard, at the rear of the adjoining building, the bottom of said duct to be within 20 ft. of the grade line. Provided, however, that this exemption shall not apply for a distance of more than 50 ft. across the rear of the lot, measured from the street line.

Whenever any such building hereafter erected is upon a lot which runs through from one street to another street, a yard shall be provided the full width of the lot, midway between the streets and of the depth and height as in this section provided for interior lots, except that when said lot is less than 70 ft. in depth a yard need not be provided.

If any building is hereafter placed on the same lot with a residence building there shall always be maintained between the said buildings an open unoccupied space—across the entire width of the lot, extending from the ground upward to the sky, of a depth equal to twice that required for the yard of a residence building of the height of the highest of the buildings; except that when there are no sleeping rooms in the first story or basement, the open space may start at the level of the second story floor beams.

No such building shall be hereafter enlarged or its lot be diminished, so that the yard shall be less in depth than is prescribed for buildings hereafter erected.

No court used for the lighting or ventilation of a sleeping room in any building hereafter erected shall be less than five ft. in any dimension; and for every additional 12 ft. of height or fraction thereof, above 60 ft., there shall be an increase of 6 ins. in such dimension.

No such court of any building hereafter erected shall be covered by a roof or skylight, but shall be at every point open and unobstructed to the sky.

No offset from any court shall be used for lighting or ventilating a sleeping room, unless such offset is at least 4 ft. wide and its depth does not exceed its width.

For the purposes of this section the measurements of a court shall be taken at the ground level, except that where such building is partly used for other than residence purposes, they may be taken at the level of the floor beams of the lowest story used for or containing any sleeping rooms.

No such building shall be hereafter altered or enlarged, or its lot be diminished, so that any court shall be of less dimension than herein specified for buildings hereafter erected.

No court to be used for lighting or ventilation of any sleeping room shall hereafter be placed in any building unless such court conforms to the requirements herein specified for courts of buildings hereafter erected.

In any building hereafter erected every sleeping room shall be provided with a window or windows opening directly upon a street, yard or court. Each such window shall be not less than 12 square ft. in area between stop beads, and shall be so arranged that it can be opened to the extent of at least one-half its area. Such sleeping room shall be in every part not less than 8 ft. high from the finished floor to the finished ceiling. Such sleeping room shall be not less than 7 ft. wide for one-half its length and shall contain not less than 600 cu. ft. of space.

No sleeping room that does not conform to these requirements shall hereafter be placed in any building.

No sleeping room shall be hereafter placed in any cellar the ceiling of which is less than 2 ft. above the curb.

### MERCANTILE BUILDINGS.

Light and ventilation of mercantile and special hazard buildings are treated in Section 34. The provisions of this section also apply to such Public Buildings and Special Structures, Classes "A" and "F," as the Superintendent of Buildings may deem necessary:

Behind every such building hereafter erected, unless in this section otherwise provided, there shall be a yard extending across the entire width of the lot, at every point open to the sky.

The depth of said yard, measured from the extreme rear wall of the building to the rear line of the lot, shall be not less than 10 ft. in every part for buildings 60 ft. or less in height; and in buildings over 60 ft. in height said yard shall be increased in depth 6 ins. for every additional 24 ft. of height, or fraction thereof, above 60 ft.

When any such building is located on a lot which runs through from one street to another street, the said yard shall be provided midway between the streets, across the entire width of the lot, but the floor levels on each street may be connected by no more than two open fireproof bridges, not more than 10 ft. wide.

When any such building is located on a corner lot, no yard need be provided behind the building if a duct, open to the air, be provided not less than 10 ft. in width by 20 ft. in height, from either street to the open yard at the rear of the adjoining building, the bottom of said duct to be within 20 ft. of the grade line. Provided, however, that this provision shall not apply for a distance of more than 50 ft. across the rear of the lot measured from the street line.

No court shall be less than 10 ft. in any dimension, and for every additional 24 ft. in height, or fraction thereof, above 60 ft., there shall be an increase of 3 ins. in such dimension.

No such court shall be covered by a roof or skylight, but shall be at every point open to the sky.

For the purposes of this section, the measurements for yards or courts may be taken at the level of the second story floor beams, but never more than 20 ft. above the curb.

No such building shall hereafter be altered or enlarged or its lot be diminished so that the yard or any court shall be less in depth or dimension than herein specified for buildings hereafter erected.

### LIMITS OF HEIGHT.

The limitations on the height of buildings are given in the following section:

Sec. 35. Every building hereafter erected or altered of Classes A, B and C, except herein otherwise provided, shall be constructed fireproof in accordance with sections 110, 111, 113 and 114 of this Code. Every building used as a hotel or lodging house, the height of which exceeds 36 ft. 6 ins., and every building used as a lodge room, ball room, concert hall, amusement hall, without stage and having a seating capacity of not more than 300 persons, the height of which exceeds 36 ft. 6 ins., and every building of Classes D, E and F, except as herein otherwise provided, the height of which exceeds 60 ft., shall be constructed fireproof in accordance with sections 110, 111, 112, 113 and 114 of this Code. Every building to be occupied as a garage, light and power station and smoke house, shall be constructed fireproof in accordance with sections 110, 111, 112 and 114 of this Code. Every building to be occupied as a church, Sunday school room, chapel, synagogue, or for other religious purposes, may be of ordinary construction, provided the entire first floor is built fireproof in accordance with section 113 of this Code, but the height shall not exceed 60 ft. Spires shall be of fireproof material and shall not exceed 90 ft. in height.

Every building occupied as a dwelling or boarding house hereafter erected or altered, which is more than 40 ft. in height and not exceeding 75 ft. in height, may be of ordinary construction but shall have the first floor above the cellar or lower story constructed fireproof in accordance with section 113 of this Code, and every such building the height of which exceeds 75 ft. shall be constructed fireproof in accordance with section 110, 111, 113 and 114 of this Code.

Every tenement and apartment house hereafter erected or altered shall conform to the requirements prescribed by the Tenement House Act.

The height of fireproof buildings—except such buildings as are occupied for office or hotel purposes—shall not exceed 100 ft., unless such buildings are of first-class construction in accordance with section 112 of this Code and are provided with a standard equipment of automatic sprinklers, in which case the height shall not exceed 150 ft., except in case of churches, where sprinklers will not be required.

Fireproof buildings to be occupied for office or hotel purposes over 100 ft. in height shall be of first-class construction in accordance with section 112 of this Code, except that floors and roofs may be of second-class construction, but the height of such buildings shall not exceed 200 ft. except in case the building shall have such offsets, yards or courts in excess of those required under section 34 of this Code that the cubage of the building measured above the mean street grade level shall not exceed 174 times the area of the lot.

All buildings of mill construction shall not exceed 85 ft. in height. The height of buildings with either walls, columns or girders constructed of reinforced concrete shall not exceed 85 ft.

Buildings to be occupied for fair and exhibition purposes, towers for observation purposes, sheds on piers, coal pockets, grain elevators, church spires and ice houses, and all other structures used for similar purposes, whether temporary or permanent, shall be constructed in such manner and under such conditions as the Superintendent of Buildings may prescribe, it being understood that the true intent and full purpose of this section and sections 24, 25, 26, 27 and 28 shall be strictly adhered to.

Frame sheds may be built within the fire limits when not exceeding 15 ft. in height, open on at least one side with the roof and sides thereof covered with metal or other approved incombustible material, but a fence shall not be used as a back or side thereof.

Frame outhouses may be built within the fire limits when not exceeding 8 ft. in height, but the roofs thereof shall be covered with metal or other approved incombustible material.

Frame buildings located outside of the fire limits may be erected, but the height shall not exceed 40 ft., except as provided in section 144, and the roof of every building hereafter erected outside of the fire limits shall be of metal, slate or other approved incombustible material.

## A Protest from the Concrete Industry.

(Continued from page 692.)

winter months. No such restriction obtains to-day in New York City or in any other city in this country.

Section 31, classification of buildings, Class E. "Special hazard buildings shall be construed to mean and include all mercantile buildings which are used for the manufacture, storage or sale of inflammable products, goods or materials; that is to say, materials that will readily ignite by application of a flame, or in which heavy machinery is used. Factories, workshops, lofts, printing houses, stores, warehouses, slaughter houses, rendering plants, light and power stations, smoke houses and garages shall be included in this class." This classification is not clear—but from the specification of the character of buildings to be included in this class, it is to be assumed that factories, workshops, lofts, printing houses, warehouses, etc., must conform to class "E" construction.

Section 111 states ALL BUILDINGS REQUIRED TO BE OF FIREPROOF CONSTRUCTION UNDER THIS CODE, IN CLASS "E," SHALL BE OF FIRST CLASS CONSTRUCTION. In other words, reinforced concrete, if classed as second class construction, would not be permitted for use in class "E" buildings. The great demand for reinforced concrete construction comes from owners of property desiring to erect factories, warehouses, printing houses, garages and similar buildings. As evidences of this we may mention the following buildings which have been erected during the last few years in New York City of reinforced concrete construction:

McGraw Building, New York.  
Eastman Kodak Co. Building, New York.  
Rogers & Pyatt Building, New York.  
McNulty Building, New York.  
Bowling Green Storage Co. Building, New York.  
The Monolith, New York.  
Packard Garage, New York.  
Automobile Club of America Garage, New York.  
Robert Gair Building, Brooklyn.  
Bush Co.'s model factories, Brooklyn.  
Mason Building, Brooklyn.  
Graves Building, Brooklyn.  
Eagle Warehouse & Storage Addition, Brooklyn.  
McClure Publishing Co. Building, L. I. City.

Section 35, height of buildings. This section limits the height of second class construction to 100 ft., but makes a further limitation on reinforced concrete as follows: The height of buildings with either walls, columns or girders constructed of reinforced concrete shall not exceed 85 ft. This limitation would prevent the erection of all such buildings as the above mentioned buildings—nearly all of which are in excess of six stories. The only conclusion which can be drawn by the reinforced concrete industry is that the purpose of the above recited portions of the code is to restrict, if not prohibit, the use of reinforced concrete construction. We maintain that the present regulations are the outgrowth of careful investigation and tests made by the superintendent of buildings, and that all buildings which are now being erected of reinforced concrete in Greater New York are of excellent construction, embodying strength, durability and fire resistance, and at the same time possessing such advantages of economy as to induce manufacturers to erect fireproof buildings of reinforced concrete which would otherwise be erected of timber construction. Anyone who has made an examination of the Robert Gair Co. Building, covering an entire city block in Brooklyn, nine stories in height, used for the purpose of printing, lithographing and embossing, as well as storage, must advocate the construction of similar buildings in Greater New York. Their prohibition would be a great injustice to the owners of property who desire to erect manufacturing plants in Greater New York, as well as bringing a heavy loss upon the concrete industry having its money invested in such operations. We do not believe it the intention of the city to prohibit such construction, and the clauses above recited are probably the result of insufficient consideration of this question. There are many other portions of the code open to serious criticism, and we respectfully request that the Board of Aldermen will have the proposed code sent back to the building committee of the Board of Aldermen with instructions to grant public hearings. Yours very truly,

H. C. TURNER, President.

## Exhibition of the Concrete Association.

An educational exhibit of Portland cement concrete was informally opened on Wednesday afternoon on the eleventh floor of the Brunswick Building, 5th av and 26th st. More than a hundred architects, engineers and concrete contractors visited the exhibition, which is under the auspices of the Concrete Association of America, on Wednesday, and many were surprised at the artistic uses to which concrete is put by skilled



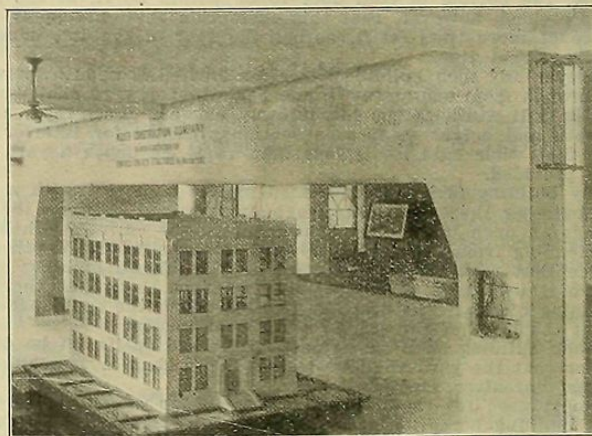
"Unit System of Reinforcement."—Tucker & Vinton Co., N. Y.

workmen trained to standardized modern methods of construction.

It is the intention of the association, formed by those desirous of encouraging and developing the intelligent and scientific use of concrete, to make the exhibit permanent, to which from time to time will be added other interesting concrete manufactures.

The ultimate object of the promoters is to interest the investing public, directly or through the architects, to the great possibilities which reinforced concrete brings into all classes of building construction. While the art is still in its infancy, great strides ahead were made during the past year. Those who are laboring in the prolific concrete field say that what is already accomplished is insignificant compared to what the future will develop now that the basic principles are thoroughly understood.

The work of educating the investing public is the practicability of adopting the various products of concrete rein-

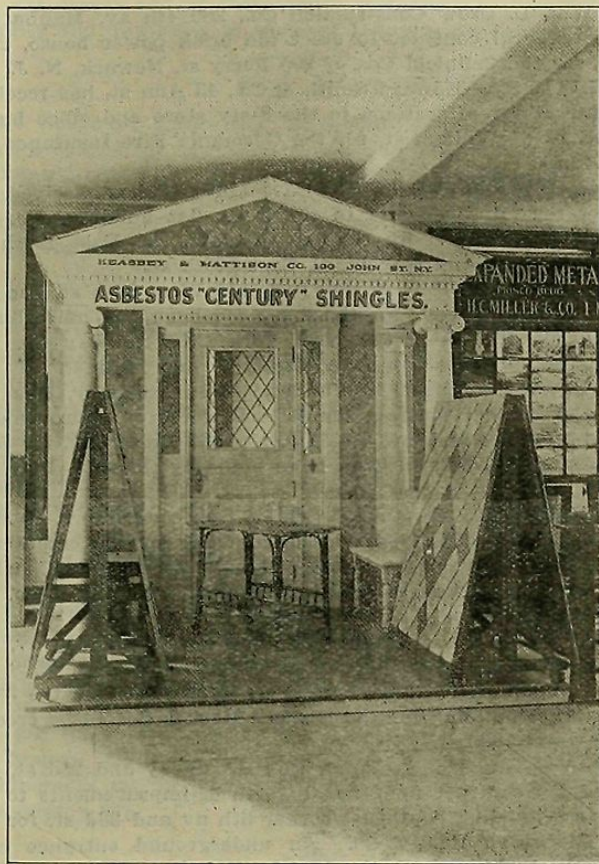


Two Exhibits. (1) Webber Construction Co., showing 35-ft. reinforced girder. (2) Turner Construction Co. (N. Y.), scale model typical reinforced concrete building.

forcements and of materials which are closely allied with the concrete and fireproof building industries, although an undertaking of large proportions, will no doubt prove a light task, judging by the concerted efforts of the allied members to boom all branches of the industry regardless of competition. Self is not in evidence at the exhibition. At times you can hear an enthusiastic concrete man discourse on the beauties of a certain

exhibit, praising it unstintedly, you learn later that the exhibit is that of the declaimer's nearest competitor. A warm, though friendly, rivalry exists nevertheless, and it is rumored that some of the exhibitors are not yet showing their finest products, wishing to first feel out their competitors.

What is shown to-day is marvelous enough for a starter. The novices (and how many are not?) rubbed their eyes at the artistic and finished effects fashioned out of Portland cement. Beautifully rounded columns, with ornate capitals, delicately



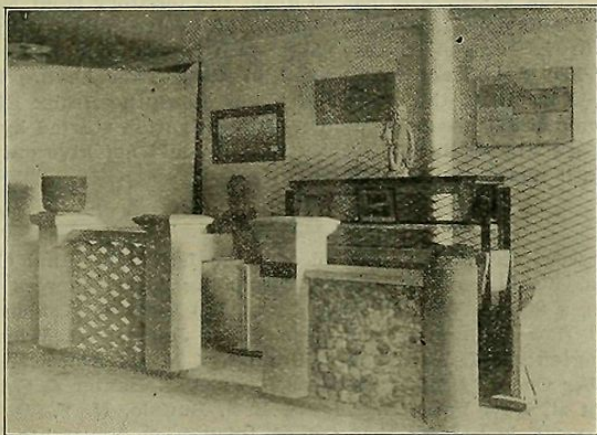
Asbestos "Century" Shingles.—Keasbey & Mattison Co., N. Y.

moulded medallions, faithful in execution and the equal to fine cut-stone work, are small samples of the unlimited possibilities to which good Portland cement can be decoratively adapted.

One of the elaborate exhibits and the first which greets your eye is that of Tucker & Vinton, who make a specialty of the unit system of reinforcement. Their exhibit shows the architectural possibilities which can be attained in the construction of standard columns and capitals, also fancy mouldings and color schemes in tile work. The detail of their column construction is especially interesting.

The Turner Construction Company has a striking exhibit in the model of a typical building, constructed of reinforced concrete, handsome in appearance, simple in detail and economical in construction. A view from the top shows the method of laying the reinforcement. This miniature is lighted by electricity, giving an unobstructed view of the several floors.

A full-sized 35-foot reinforced concrete girder, which im-



Expanded Metal Engineering Co., N. Y.—"Artistic Cement Finish."

presses one with great carrying powers, is the substantial exhibit of the Webber Construction Company.

The Expanded Metal Engineering Company shows various types of floor arches and the several applications to which expanded metal reinforcing may be put.

The J. F. Blanchard Company's exhibit consists of metal covered woodwork of all kinds, including especially doors and window casings.

By a series of photographic views the American Concrete

Steel Company of Newark, N. J., shows its style of work in various stages of construction. The same method is used by the Expanded Metal and Corrugated Bar Company. A large screen of photographic plates show a multitude of structures in which corrugated reinforcing bars are used. M. L. Freeman, manufacturer of the "Infusal" fireproof blocks for partitions, dampproof wall furring and dry rooms, makes a comprehensive exhibition of his method of installing completely insulated cold storage plants.

The General Fireproofing Company, of Youngstown, O., shows a fair-sized booth built up of the several kinds of metal materials which they manufacture for reinforcing concrete, including its "Reliance" studding, "Herringbone" and "Bostwick" metal laths. The roof of the booth is of concrete slabs reinforced with trussed metal. Their well-known knobbed bar reinforcing in various sizes are made use of to form the rail at the entrance to this novel booth.

Five Portland cement manufacturing companies have or will have shortly elaborate exhibits, some of which will cost hundreds of dollars. The Vulcanite Portland Cement Company have well started their display. The others are the Alsen, the Alpha, the Pennsylvania and the Whitehall Portland Cement companies.

Displays are also made by Toch Brothers, cement filler and cement floor paint; Voigtmann & Co., metal windows of all kinds for all uses; Automatic Door and Gate Company, automatic elevator gates and fire doors; Asbestos Shingle Slate and Sheathing Company, who make a very complete display of their new fireproof material; Clinton Wire Cloth Company, metal lathing for floors; John W. Rapp, metal-covered woodwork, and the American Machinery Company's exhibit of "Keepsdry" skylight construction.

Those who are interested in concrete or fireproof building construction are invited to visit the exhibition. The secretary is in constant attendance, and from him visitors are assured cordial treatment.

The officers of the concrete Association are: Ross F. Tucker, president; H. C. Turner, vice-president; Merrill Watson, second vice-president; John T. Simpson, third vice-president; Ronald Taylor, treasurer; T. G. Barr, secretary, and R. C. Davison, assistant secretary.

## Building Operations.

### Statistics of Plans Filed.

The following is a table of the new buildings and alterations projected for Manhattan and the Bronx with the estimated cost, for the past week and also for the corresponding week of 1906:

	1907.	1906.
No. of the new buildings in Manhattan and the Bronx.....	30	50
Estimated cost of new buildings..	\$422,625	\$976,200
Total estimated cost of alterations for Manhattan and the Bronx..	\$168,500	\$250,200

### V. Hugo Koehler Plans Broadway and 43d Street Theatre.

BROADWAY.—Architect V. Hugo Koehler, No. 489 Fifth av, will soon be ready to receive estimates for the construction of the proposed 12-story store, office and theatre building which Harry Levey is to erect at the southeast corner of Broadway and 43d st, fronting 104.2 ft. on Broadway and 193.9 ft. on 43d st. Mr. Levey has leased the site for a term of forty-two years at a fixed rental aggregating over \$4,000,000. The office building will front in Broadway and will have a stairway leading to the uptown station of the subway. The theatre will front in 43d st, and will contain a seating capacity of about eleven hundred. It is planned to have the theatre ready to open by October, 1908, and the office building completed by February. Mr. Levey's lease contains three renewal privileges of twenty-one years each at 4% on the appraised valuation of the land. No building contracts have yet been awarded. (See also issue Nov. 9, 1907.)

### Latest Thirty-Sixth Street Improvement.

36TH ST.—Work will soon be started on a new store and loft building, 37x88.9 ft., which F. A. Hill, of 29 West 34th st, will erect at Nos 247-249 West 36th st, for which Architect Charles E. Birge, 29 West 34th st, has completed plans. Two old buildings on the site will be demolished. Materials for the front will be light brick, tile and stone coping, with a composition roof, galvanized iron and glass skylights, metal ceilings, low pressure steam, exterior iron stairs, electric lights, and elevator. William T. Hill & Son will have the plumbing contract.

### Particulars of Broad and Stone Street Building.

BROAD ST.—Plans are being prepared by a Mr. Barrone, general contractor and architect, for the improvement of the small plot, 10x20 ft., at the southeast corner of Broad and Stone sts, which has been leased for a term of years to Messrs. Balzarini & Barrone, of No. 271 Tillary st, Brooklyn. So far as could be learned on Thursday, the structure will not be more than one story in height.

### 1st Avenue and 114th Street Improvement.

1ST AV.—Biagio Perneti Co., 309 East 116th st, is having private plans prepared for the erection of a 4-sty brick and stone stable building, 48x90 feet, to be situated on the west side of 1st av, 50 feet north of 114th st. Estimates will be taken by the owners on or about January 15, 1908. It was originally planned to improve this site with a 6-sty tenement structure, but on account of the exodus of Italians during the last months the company now considers the erection of an up-to-date stable as the best investment.

### John C. Rodgers Submits Low Bid for Bridge Work.

John C. Rodgers, 13-21 Park Row, has submitted the lowest bid at \$2,167,000 for the construction of the masonry piers, surface and sub-surface changes, and steel superstructure of the Manhattan and Brooklyn approaches of the Manhattan Bridge over the East River, between Manhattan and Brooklyn. Other bidders were: The Maryland Steel Co., 71 Broadway, \$2,179,000; Williams Engineering Co., 13-21 Park Row, \$2,416,820; McClintock-Marshall Const. Co., 13 Park Row, \$2,667,978.

### Apartments, Flats and Tenements.

METROPOLITAN AV.—Samuel Sass, 23 Park row, has completed plans for a 6-sty store and tenement, 50x97 ft., to be erected at Nos. 245 and 247 Metropolitan av, Brooklyn, for Mrs. S. Willner, 67 Jay st. Estimated cost is \$50,000.

ARTHUR AV.—Charles Schaefer, Jr., 1 Madison av, has completed plans for a 5-sty tenement, 50x98 ft., to be erected on the east side of Arthur av, near 179th st, for John McNulty, on premises. Estimated cost is \$45,000. Bids are being received by the owner.

### Churches.

BROADWAY.—Potterton Bros., 215 West 28th st, have received the contract for improvements to Grace Church, Broadway and 10th st, from plans by Renwick, Aspinwall & Tucker, 320 5th av.

Carrere & Hastings, 5th av and 26th st, Manhattan, have been engaged to prepare plans for the edifice which is to be erected for the First Church of Christ (Scientist), at Walnut and 39th sts, Philadelphia, Pa.

Rev. Father Scykora, pastor of St. Joseph's Slavish Roman Catholic Church, Bayonne, will shortly have work started on a new edifice and rectory at Ave E and 25th st. Bishop John J. O'Connor has approved the plans and specifications drawn by Architect James F. Bagnell, of Bayonne. The new church and rectory will cost \$50,000. The building will be 60x125 ft. in size, constructed of brick, with terra cotta trimmings.

### Alterations.

LUDLOW ST.—Samuel Sass, 23 Park Row, is preparing plans for improvements to No. 8 Ludlow st, for J. Horowitz, same to cost \$6,000.

10TH ST.—J. R. Dardis, 555 West 140th st, is planning for alterations to No. 401 East 10th st, for Mrs. J. A. McLochlin, 323 West 89th st.

CENTRAL PARK WEST.—P. D. Dumont, 292 Central Park West, will make extensive alterations to Nos. 292-293 Central Park West. Clarence True, 130 Fulton st, is planning.

EAST HOUSTON ST.—B. W. Berger & Son, Bible House, are making plans for \$4,000 worth of improvements to Nos. 96-98 East Houston st, for the estate of F. Krutina, 1 West 89th st.

### Miscellaneous.

Edward L. Tilton, 32 Broadway, Manhattan, is completing plans for a public library building to be erected at Cleveland, O., to cost about \$50,000.

Henry J. Hardenbergh, 1 West 34th st, Manhattan, has completed plans for the hotel building to be erected at Oakland, Cal., for Walter J. Matthews, of that city.

Messrs. Whitfield & King, 160 5th av, Manhattan, have finished plans for the 2-sty library building to be constructed at Hickman, Ky., for the Public Library Association.

Lewis R. Kaufman, 160 5th av, has completed plans for the two-sty restaurant building, 100x150 ft., to be erected at Long Beach, L. I., for the Long Beach Casino Co., to cost \$50,000.

Messrs. Howells & Stokes, 100 William st, Manhattan, are preparing plans for a 10-sty store and office building for a Seattle corporation, to be erected at Seattle, Wash., to cost \$500,000.

### Estimates Receivable.

Bids are asked at the office of James Knox Taylor, Supervising Architect, Treasury Dept., Washington, D. C., until Dec. 27, for the installation of a vacuum cleaning system for U. S. Custom Building, Manhattan.

MANGIN ST.—Bids are wanted for the reconstruction and alteration to a stable building on Mangin st, 120x100 ft. in size. Plans may be seen and estimates will be received at the office of Max Shelnart, No. 320 Broadway.

BROADWAY.—No contracts have yet been awarded for the two-story store and office building, 100.11x160 ft., which Moses Sahlein, 71 Nassau st, will erect at the southwest corner of

Broadway and 111th st, same to cost about \$25,000. Arnold W. Brunner, 33 Union sq, has plans ready.

Kenneth M. Murchison, of 320 5th av, Manhattan, will receive bids about Dec. 17, for the restaurant building, 85x120 ft., to be erected at Hoboken, N. J., for the Hoboken Land and Improvement Company. This is the building that has been designed to replace the present Duke's House at the entrance to the Lackawanna Ferry.

### Contracts Awarded.

The Wm. L. Crow Construction Co., 289 4th av, Manhattan, has the general contract to erect the brick power house, 230x100 ft., for the Celluloid Co., of 295 Ferry st, Newark, N. J.

WILLIAM ST.—Edward Smith & Co., 43 Ann st, has received the contract for alterations to the 8-sty store and office building Nos. 62-64 William st, for the Germania Fire Insurance Co. on premises.

112TH ST.—John Miglio, 340 East 113th st, has received the contract for improvements to the 5-sty flat building, No. 311 East 112th st, owned by Raffaella Parlato, 221 East 120th st, from plans by Frank Hausle, 81 East 125th st.

LENEX AV.—M. Reid & Co., Inc., 114 West 39th st, has obtained the mason work for the 2-sty car barn and office building, 199x365 ft., which the New York City Railway Co. will erect at the northwest corner of Lenox av and 146th st.

BROADWAY.—James McWalters, 2434 Broadway, has obtained the general contract for \$20,000 worth of improvements to the 6-sty store and loft building, No. 564 Broadway, for John Jacob Astor, 23 West 26th st, from plans by Chas. A. Platt, 11 East 24th st.

CHARLTON ST.—Sexauer & Lemke, iron contractors, 59 Mills st, Astoria, Long Island, have the contract for the erection of an iron awning to the 7-sty loft building Nos. 130-136 Charlton st, for Messrs. Basilea, Calandra & Cuneo. Peter M. Coco, 114 East 23d st, architect.

1ST AV.—The Louis Webber Building Co., 1 Madison av, has awarded the carpenter contract to Frank Burghard, 2528 7th av, and plumbing to Robert Law, 89 Barrow st, for the 5-sty brick market building for the Harlem Market Co., to be erected at 1st av and 102d st.

6TH AV.—The Geo. A. Fuller Co., Broadway and 23d st, has obtained the contract for \$35,000 worth of improvements to the 6-sty store building southeast corner 6th av and 23d st, for the James McCreery Realty Co. An underground entrance connecting the building with the McAdoo subway will be installed.

The Abbott-Gamble Co., 32 Broadway, Manhattan, has received the contract from the Long Island Railroad Co., for the construction of the abutments in the North Shore yard, Long Island City, and also for the reconstruction of a portion of the main conduit line, in connection with the North Shore yard improvements.

The Bureau of Yards and Docks, Washington, D. C., has awarded contracts for laundry equipment as follows: Washington Naval Hospital, American Laundry Machinery Mfg. Co., 132 West 27th st, Manhattan, \$3,150. Naval Medical Hospital, New Fort Lyon, Colo., Troy Laundry Machinery Co., 33 Warren st, Manhattan, \$2,890.

Contract for the jetty work at Cold Spring Inlet, near Cape May, N. J., has been awarded to the Seacoast Construction Co., Manhattan, at the company's bid of \$614,600. The contract has been sent to Washington for approval. The jetty construction is part of the \$1,300,000 harbor the government intends to build at Cold Spring Inlet.

The Mack Paving & Construction Co., of Philadelphia, Pa., have received the contract, at \$1,800,000, to build the Bronx Valley trunk sewer, which is to drain the territory from North White Plains to Yonkers, a distance of twelve miles, with an outlet to the Hudson River. There were twenty-four other bidders. The Sewer act was passed in 1905, after having been approved by all of the cities and towns along the Bronx River. The Commission has been hampered by litigation started by the New York Anti-Pollution Society that it could not give out the bids until now.

### Bids Opened.

Bids were received at the office of the Isthmian Canal Commission, Washington, D. C., for furnishing 30,000 cypress ties, 7x9 ins. x 8½ ft. Wm. P. Cook & Co., 100 Wall st, Manhattan, \$24,000 (low bid). Other bidders were: Johnson & Winsatt, Washington; L. J. Merriman, Wilmington, N. C.; American Ice & Timber Co., 11 Broadway, New York; G. S. Baxter & Co., 17 William st, New York; G. Elias & Bro., Buffalo, N. Y.

Bids were opened by the city of Atlanta on November 25th for one 20,000,000-gallon vertical triple expansion crank and fly wheel pumping engine with a guaranteed duty of not less than 170,000,000 foot pounds per 1,000 pounds of dry steam. The following bids were tendered: Allis-Chalmers Co., 60-in. stroke, \$134,700; Allis-Chalmers Co., 66-in. stroke, \$149,300; Bethlehem Steel Co., 66-in. stroke, \$132,000; Camden Iron Works (R. D. Wood & Co.), 66-in. stroke, \$147,700; Holly Manufacturing Co., 66-in. stroke, \$156,000; William Tod Co., 66-in. stroke, \$157,400; William Tod Co., same pump with special terms of payment, \$165,000; Wisconsin Engine Co., 60-in. stroke, \$139,500. The following companies also bid upon centrifugal pumps driven by

steam turbines: Bethlehem Steel Co., \$68,000; General Electric Co., \$56,900; D'Olier, \$39,500; Allis-Chalmers Co., \$43,700. The contract has been awarded to Wisconsin Engine Co. for the vertical triple expansion pump. The centrifugal pump units were not considered, not only on account of the low duty guaranteed, but because of the unfavorable reports received from users of not only centrifugal pumps in municipal water works service, but from users of steam turbines. Neither the steam nor the water end of these units was deemed of sufficient reliability and durability to warrant the purchase of such a unit.

Plans Wanted.

The Board of Education, Elizabeth, New Jersey, will have plans prepared for a school building, to be erected at Elizabeth. Estimated cost \$100,000. Architect will be selected in January. Plans and specifications are wanted for a school building, to cost about \$40,000, to be erected at Brunswick, Ga. Address W. H. Bullard, secretary Board of Education.

Building Operations for November.

According to expectations, building operations during the past month have suffered a considerable decrease, as compared with November, 1906. Official reports from forty-seven cities throughout the country, received by "The American Contractor," show a loss in the aggregate of 29 per cent. Fifteen cities scored a gain from 1 to 95 per cent., while thirty-two show a loss from 10 to 68 per cent. Building construction is generally considered the most sensitive of all financial undertakings, hence this decline may be taken as the most serious retrenchment in any industrial line. Plans in great numbers are ready and waiting for a subsidence of the financial "furry," when it is confidently expected that building will assume its normal course. Among the cities that scored an increase are: Birmingham, 9 per cent.; Buffalo, 50; Cleveland, 8; Cincinnati, 32; Detroit, 95; Milwaukee, 29; Minneapolis, 12; Mobile, 31; Omaha, 10; St. Paul, 16; Scranton, 38; South Bend, 18. The principal losers were: Chicago, 52; Duluth, 58; Evansville, 81; Harrisburg, 64; Hartford, 65; Indianapolis, 62; Louisville, 65; St. Louis, 66; Trenton, 58, and Washington, 68.

City.	Nov., 1907, cost.	Nov., 1906, cost.	Per cent gain.	Per cent loss.
Atlanta .....	\$374,388	\$371,775	1	..
Baltimore .....	354,945	505,231	..	27
Birmingham .....	146,408	133,280	9	..
Buffalo .....	826,000	548,500	50	..
Chicago .....	2,205,150	4,615,300	..	52
Cincinnati .....	521,332	393,300	32	..
Cleveland .....	870,318	808,027	8	..
Dallas .....	128,624	142,732	..	9
Davenport .....	14,900	15,700	..	5
Denver .....	345,355	458,155	..	24
Detroit .....	1,408,450	722,200	95	..
Duluth .....	56,055	132,586	..	58
Evansville .....	37,071	203,162	..	81
Grand Rapids .....	139,387	178,694	..	21
Harrisburgh .....	26,875	75,550	..	64
Hartford .....	76,940	219,885	..	65
Indianapolis .....	163,255	434,197	..	62
Kansas City .....	591,280	496,810	19	..
Louisville .....	55,458	159,725	..	65
Los Angeles .....	846,780	1,089,543	..	22
Milwaukee .....	1,119,887	925,242	29	..
Minneapolis .....	615,315	549,130	12	..
Memphis .....	311,704	308,610	1	..
Mobile .....	30,461	23,090	31	..
New Orleans .....	151,741	222,280	..	31
New York .....	7,465,770	11,467,089	..	34
Manhattan .....	3,697,290	4,564,775	..	19
Brooklyn .....	2,312,725	4,894,489	..	52
Bronx .....	1,455,755	2,007,825	..	27
Omaha .....	391,765	357,175	10	..
Philadelphia .....	1,159,025	2,013,615	..	42
Paterson .....	99,747	110,749	..	10
Pittsburgh .....	813,001	1,062,992	..	23
Reading .....	32,275	83,900	..	61
Rochester .....	344,260	393,290	..	12
Scranton .....	214,513	154,810	38	..
Spokane .....	171,575	252,515	..	36
St. Louis .....	789,186	2,351,071	..	66
St. Paul .....	683,366	586,780	16	..
Seattle .....	453,923	600,628	..	26
South Bend .....	35,000	39,450	18	..
Syracuse .....	233,730	336,850	..	30
Salt Lake City .....	79,400	106,950	..	25
Tacoma .....	150,250	171,915	..	12
Trenton .....	50,131	120,669	..	58
Washington .....	396,783	1,276,985	..	68
Worcester .....	134,340	204,285	..	34
Total .....	\$25,116,089	\$35,424,422	..	29

Building Slate.

One of the finest slate quarries in the vicinity of New York has just been opened at Port Murray, N. J. The property is owned by Irving C. Matthews and is about 32 acres in extent. This slate is of the finest texture and is admirably adapted for toilet slab fixtures and roofing slate. Mr. Matthews has had this product examined by experts who report that it is of superior quality. This property is for sale, either outright or on a royalty basis. Samples will be furnished upon application to Mr. Matthews, at 327 Wilton st, Philadelphia, Pa.

BUILDING NOTES

The New York Chapter of the American Institute of Architects on December 11th passed a resolution indorsing the revision of the Building Code now before the Board of Aldermen.

The office of Frank E. Perkins, architect, 1133 Broadway, informs the Record and Guide that the rumor circulated that he is preparing plans for a \$1,000,000 office building, to be erected on the Pacific coast, is incorrect.

The Pacific Wireless Telegraph Co., of 66 Broadway, of which Charles W. Lapham is general manager, is soon to erect on the south side of 170th st, 106 feet east of Jerome av, in the Bronx, tower buildings 30 feet square and 200 feet high, at a cost of \$20,000, to be used as a wireless telegraph station.

The Municipal Civil Service Commission, 299 Broadway, will hold an examination on Jan 14, for the position of mechanical draftsman (electrical, heating and ventilating, sanitary) and junior mechanical draftsman. Applications will be received until Dec. 24 at 4 p. m. Candidates for mechanical draftsman must be not less than 21 years of age. Candidates for junior draftsman must be not less than 18. F. A. Spencer, Secy.

The Northwestern Cement Products Association has decided to hold its annual convention in Chicago on December 18 and 19. Meetings of this Association will take place in the second floor of the Coliseum Annex and will be in charge of the officers of that Association. This convention will bring several hundred people to the show who would probably not otherwise come, and will add greatly to the interest. The officers of this Association are as follows: President, Lee Stover, Watertown, S. D.; Vice-President, O. U. Miracle, Minneapolis; Wm. Simpson, Mandan, N. D.; C. A. P. Turner, Minneapolis; A. H. Laughlin, Lisbon, N. D.; John Wunder, Minneapolis; Secretary, M. T. Roche, St. Paul; Treasurer, J. M. Hazen, Minneapolis; L. L. Fest, Manager.

Business Troubles.

A petition in bankruptcy has been filed against William T. Hookey, dealer in building materials at 129th st and 3d av, by these creditors: Reveley & Emmons, \$4,500; Long Dock Mills and Elevator, \$4,057, and Rockland Rockport Lime Company, \$2,936. It was alleged that he is insolvent, and admitted in writing inability to pay his debts and willingness to be adjudicated bankrupt. Mr. Hookey was one of the largest dealers in building materials in this city.

PROJECTED BUILDINGS

The first name is that of the ow'r; ar't stands for architect, m'a for mason, c'r for carpenter, and b'r for builders. When character of roof is not mentioned, it is to be understood that the roof is to be of tin.

BOROUGH OF MANHATTAN.

SOUTH OF 14TH STREET.

Broome st, No 97, 7-sty brk and stone stable and loft building, 25x67; cost, \$18,000; Saml J Mashkowitz, 48 East Broadway; ar't, Max Muller, 115 Nassau st.—782.  
Madison st, No 207, 6-sty brk and stone store and tenement, 26x87; cost, \$30,000; Harry Kay, 35 Nassau st; ar't, Chas M Straub, 122 Bowery.—780.

BETWEEN 14TH AND 59TH STREETS.

36th st, Nos 247-249 West, 7-sty brk and stone store and loft building, 37x88.9, composition roof; cost, \$30,000; F A Hill, 29 W 34th st; ar't, Chas E Birge, 29 W 34th st.—779.  
5th av, s w cor 51st st, 12-sty brk and stone store and apartment building, 36.1x121, slate roof; cost, \$200,000; T R A Hall, 39 E 42d st; ar't, Alex M Welch, 11 E 42d st.—781.

59TH TO 125TH STREET, BETWEEN 5TH AND 8TH AVENUES.

Broadway, s w cor 111th st, 2-sty brk and stone store and office building, 100.11x160, slag roof; cost, \$25,000; Moses Sahlein, 71-73 Nassau st; ar't, Arnold W Brunner, 33 Union sq.—778.

BOROUGH OF THE BRONX.

Freeman st, n s, 60 e Chisholm st, 2-sty frame storage building, 19x32; cost, \$800; Geo J M Ketner, 1361 Prospect av; ar't, Niels Toelberg, Boston road and Prospect av.—1125.  
Main st, w s, 191 s Silver st, 1-sty frame garage, 40x60; cost, \$2,000; Larson & Thompson, on premises, ow'rs and ar'ts.—1127.  
Poplar st, n s, 188.15 e Bear Swamp road, 1-sty frame shed, 15x40; cost, \$500; Mary Scully, on premises; ar't, B Ebeling, West Farms road.—1119.  
133d st, s s, 128 e Cypress av, 1-sty frame shed, 24x75; cost, \$350; C Dumke, 641 E 141st st; John Hoffman, 660 E 154th st, lessee and ar't.—1116.  
170th st, s s, 106.9 e Jerome av, steel wireless telegraph station, 30x30 at base, 200 in height; cost, \$2,000; Pacific Wireless Telegraph Co, Chas C Lapham, 66 Broadway, Room 809, gen manager and ar't.—1115.  
Aqueduct av, s e cor 183d st, 2½-sty frame dwelling, peak shingle roof, 27.4x46.4; cost, \$9,000; Wm C Bergen, Andrews av and 180th st; ar't, Chas S Clark, 445 Tremont av.—1124.  
Brook av, n e cor 159th st, 1-sty brk church, peak slate roof, 65x130.4; cost, \$20,000; R C Church of St Peter and St Paul, Rev Wm Murphy, pastor, on premises; ar't, M J Garvin, 3307 3d av.—1122.

Decatur av, e s, 100 s 209th st, four 2-sty frame dwellings, 21x56 each; total cost, \$24,000; Thos Giordano, 864 E 180th st; ar't, Chas S Clark, 445 Tremont av.—1123.

Edwards av, w s, 265.4 s Balcom av, five 2-sty frame dwellings, 20x51 and 23; total cost, \$21,000; Jos Diamond, Bronx Park av; ar't, B Ebeling, West Farms road.—1120.

Hughes av, e s, 140 n 180th st, 3-sty brk dwelling, 20x52; cost, \$6,000; Pasquale D'Auria, 2083 Belmont av; ar't, Rudolph Werner, 41 High st, Paterson, N J.—1121.

Heath av, e s, 348 s Kingsbridge road, two 2½-sty frame dwellings, 20x55 each, peak shingle roofs; total cost, \$12,000; B Nery, Cortland, N Y; ar't, A Ericson, 2585 Sedgwick av.—1114.

Newbold av, n s, 331 w Castle Hill av, 1-sty frame church, peak slate roof, 45x30; cost, \$5,000; The Methodist Episcopal Church of Unionport, on premises; ar'ts, Geisen & Pardy, 870 E 169th st.—1117.

Palisade av, w s, 280 s 261st st, 1-sty frame play house, 25x25; cost, \$100; Colored Orphan Asylum, 259th st and Palisade av; ar'ts, Robertson & Potter, 160 5th av.—1118.

Unionport road, e s, 100 s Morris Park av, 3-sty brk store and dwelling, 25x60; cost, \$10,000; Giovanni Levoli, Amethyst st; ar't, Henry Nordheim, Boston road and Tremont av.—1129.

Westchester av, s s, 50 w Green av, two 1-sty brk stores and dwellings, 25x60 each; total cost, \$6,800; Edw Bentz, Butler pl and Green av; ar't, Chris F Lohse, 627 Eagle av.—1128.

Wales av, w s, 110 n 150th st, 1-sty frame shed, 37x16; cost, \$75; Mary Smith, 603 Wales av; ar't, Gustav Schwarz, 302 E 158th st.—1126.

## ALTERATIONS.

### BOROUGH OF MANHATTAN.

Broome st, No 269, partitions, windows, doors, to 4-sty brk and stone loft and store building; cost, \$300; R Halgren, 265 Broome st; ar't, H Horenburger, 122 Bowery.—3066.

Broome st, No 424, stairways, boiler, hoistway, to 7-sty brk and stone loft building; cost, \$3,000; Thomas W Sheppard, 60 W 83d st; ar'ts, Shampan & Shampan, 772 Broadway, Brooklyn.—3097.

Clinton st, No 93, vent shaft, toilets, partitions, windows, skylights, plumbing, to 5-sty brk and stone tenement; cost, \$5,000; Samuel Koransky, 93 Clinton st; ar'ts, Bernstein & Bernstein, 24 E 23d st.—3096.

Cherry st, No 67, partitions, windows, toilets, skylight, to 4-sty brk and stone tenement and store; cost, \$600; Mary Jackson, 171 W 80th st; ar't, C Dunne, 214 E 14th st.—3086.

Charlton st, Nos 130-136, erect awning to 7-sty brk and stone loft building; cost, \$300; Basile, Calandra & Cuneo, 130 Charlton st; ar't, Peter M Coco, 114 E 23d st.—3080.

Canal st, No 332, erect balcony to 6-sty brk and stone loft building; cost, \$100; Richard H Clark, 51 Chambers st; ar'ts, Gross & Kleinberger, Bible House.—3085.

Mangin st, No 81, girders, piers, windows, openings, to 2-sty brk and stone stable; cost, \$10,000; Max Sheinart, 320 Broadway; ar't, Louis A Sheinart, 944 Stebbins av, Bronx.—3091.

Prince st, No 21, toilets, partitions, windows, to 4-sty brk and stone tenement; cost, \$500; P Pati, 238 Elizabeth st; ar't, O Reissmann, 30 1st st.—3072.

Spring st, No 68, 1-sty brk and stone rear extension, 25.1x59.5, partitions, windows, skylights, to 3-sty brk and stone store and dwelling; cost, \$5,500; Abbate & Alvino, 226 Lafayette st; ar't, Richard Rohl, 128 Bible House.—3071.

William st, Nos 62-64, erect pent house, to 8-sty brk and stone store and office building; cost, \$3,600; Germania Fire Insurance Co, 62 William st; ar't, Edward Smith & Co, 43 Ann st.—3099.

Water st, Nos 336-338, toilets, windows, partitions, plumbing, to two 4-sty brk and stone stores and tenements; cost, \$6,000; G Tuoti, 206 Broadway; ar't, Alfred L Kehoe, 206 Broadway.—3105.

2d st, Nos 263-265, 4-sty brk and stone side extension, 20x47.6x48.8, to 4-sty brk and stone store and loft building; cost, \$8,000; Sarah B Reynolds, Kingston, N Y; ar't, Chas M Straub, 122 Bowery.—3107.

5th st, No 432 E, partitions, girders, columns, to 5-sty brk and stone tenement; cost, \$2,000; P Decker, 157 E 123d st; ar't, A E Nast, 147 4th av.—3090.

10th st, Nos 39-41 E, partitions, windows, to 5-sty brk and stone tenement; cost, \$300; Edward S Renwick, Milburn, N J; ar't, Chas H Richter, 68 Broad st.—3076.

12th st, No 530 E, partitions to 5-sty brk and stone tenement; cost, \$600; Mrs Francesco Genovese, 416 E 11th st; ar't, Henry Regelman, 133 7th st.—3081.

21st st, Nos 51-55 W, cut walls, to 6-sty brk and stone store building; cost, \$250; Higgins & Seiter, 55 W 21st st; ar't, M C Merritt, 58 W 31st st.—3093.

22d st, No 54 W, steel beams, doors, to 6-sty brk and stone store; cost, \$175; Estate of W H Brigham, 425 West End av; ar't, M C Merritt, 58 W 31st st.—3094.

33d st, No 337 East, toilets, windows, partitions, to 4-sty brk and stone tenement and store; cost, \$500; Stuyvesant Real Estate Co, L I R R Station, L I City; ar't, Frank Hausle, 81 E 125th st.—3069.

34th st, No 122 W, 1-sty brk and stone rear extension, 20x39.9, stairs, partitions, windows, to 4-sty brk and stone store and office building; cost, \$6,000; Geo Sulzbach, 130 W 34th st; ar't, Otto L Spannhake, 233 E 78th st.—3074.

38th st, No 306 West, bathroom, doors, to 4-sty brk and stone dwelling; cost, \$450; Thomas J Byrne, 156 W 92d st; ar't, John H Knubel, 318 W 42d st.—3101.

44th st, s s, 133 w 6th av, partitions, windows, to 4-sty brk and stone dwelling; cost, \$6,500; Army & Navy Realty Co, 107 W 43d st; ar't, D W Davin, 74 Irving pl.—3087.

92d st, No 169 E, partitions, windows, to 5-sty brk and stone tenement; cost, \$250; Mrs E Colton, 537 West End av; ar't, Geo Hang, 30 E 20th st.—3073.

93d st, No 235 E, partitions, toilets, windows, skylights, to 5-sty brk and stone tenement; cost, \$1,000; Geo Ehret, 235 E 91st st; ar't, Chas Stegmayer, 168 E 92d st.—3088.

105th st, No 153 E, show windows, front entrance, to 5-sty brk and stone store and tenement; cost, \$500; Abraham P Lubell, 74 Canal st; ar't, Herman Horenburger, 122 Bowery.—3082.

112th st, No 311 E, partitions, shafts, windows, to 5-sty brk and stone tenement; cost, \$1,500; Raffaella Parlato, 221 E 120th st; ar't, Frank Hausle, 81 E 125th st.—3075.

137th st, No 602 West, partitions, toilets, windows, show windows, to 6-sty brk and stone store and tenement; cost, \$500; Bing & Bing, 198 Broadway; ar't, Louis Falk, 2785 3d av.—3104.

Av A, No 65, toilets, partitions, windows, to two 4-sty brk and stone tenements; cost, \$2,500; Catherine Kopke, 784 E 13th st, Brooklyn; ar't, O Reissmann, 30 1st st. Corrects error in issue of Nov 30, when owners name was Ropke and address.—3018.

Amsterdam av, No 1342, partitions, windows, store fronts, to 3-sty brk and stone store and dwelling; cost, \$2,000; Morris Weinstein, 1966 Broadway; ar't, Max Muller, 115 Nassau st.—3065.

Amsterdam av, No 1344, partitions, windows, store fronts, to 3-sty brk and stone store and dwelling; cost, \$1,200; Morris Weinstein, 1966 Broadway; ar't, Max Muller, 115 Nassau st.—3088.

Bowery, No 204, 1-sty brk and stone rear extension, 16.8x31, show windows, skylights, to 3-sty brk and stone store and loft building; cost, \$4,000; Real Estate Management Co, Broadway and 98th st; ar't, Benj Sackheim, 309 Grand st.—3067.

Bowery, No 151, stairs, partitions, to 3-sty brk and stone store and loft building; cost, \$200; W & J B Simpson, 181 Bowery; ar'ts, J B Snooks Sons, 73 Nassau st.—3103.

Broadway, No 920, toilets, partitions, to 5-sty brk and stone store and loft building; cost, \$450; Chas J Jones, 920 Broadway; ar't, Frank Hausle, 81 E 125th st.—3100.

Broadway, n e cor 10th st, brk wall, alter windows, to 1-sty brk and stone church; cost, \$500; Corporation of Grace Church, Wm R Huntington, rector, 804 Broadway; ar'ts, Renwick, Aspinwall & Tucker, 320 5th av.—3068.

Broadway, No 564, elevator, staircases, partitions, iron columns, to 6-sty brk and stone store and loft building; cost, \$20,000; John Jacob Astor, 23 W 26th st; ar't, Chas A Platt, 11 E 24th st.—3084.

Broadway, No 822, brk walls, skylight, to 5-sty brk and stone store and loft building; cost, \$650; J F Kernochan, 44 Pine st; ar't, H B De Voe, 515 Columbus av.—3079.

Lenox av, No 525, windows, partitions, to 5-sty brk and stone tenement; cost, \$800; Maximilian M Ruttenau, on premises; ar'ts, Kafka & Lindenmeyr, 34 W 26th st.—3102.

1st av, No 2251, partitions, windows, store fronts, to 4-sty brk and stone tenement and moving picture show; cost, \$250; Vito Tannelli, 2249 1st av; ar'ts, Moore & Landsiedel, 148th st and 3d av.—3106.

2d av, No 2222, partitions, toilets, windows, to 5-sty brk and stone stores and tenements; cost, \$1,800; Frank Garofalo, 419 E 116th st; ar't, Nathan Langer, 81 E 125th st.—3078.

3d av, No 1670, plumbing, toilets, to 5-sty brk and stone tenement; cost, \$5,000; S H Schwarz, 1111 Madison av; D Lippmann, 1200 Madison av; H Lippmann, 250 W 88th st; ar'ts, Sommerfeld & Steckler, 19 Union sq.—3098.

3d av, No 440, partitions, windows, to two 4-sty brk and stone dwellings; cost, \$350; Louisa H Clausnitzer, 157 E 21st st; ar't, John Clausnitzer, 157 E 21st st.—3108.

5th av, No 590, partitions, skylights, to 6-sty brk and stone store and lofts; cost, \$1,000; Hermine Haan, 2 E 55th st; ar'ts, Trowbridge & Livingston, 527 5th av.—3092.

6th av, s e cor 23d st, build entrance to subway to 6-sty brk and stone store; cost, \$35,000; James M Creery Realty Co, 112 W 42d st; ar't, J J F Gavigan, 1123 Broadway.—3095.

6th av, No 385, erect sign, to 5-sty brk and stone store and loft building; cost, \$75; Marcus Loen, on premises.—3070.

8th av, n w cor 49th st, erect roof to one 3 and 5-sty brk and stone garage; cost, \$2,500; New York City Street Ry Co, 621 Broadway; ar't, A V Porter, 621 Broadway.—3077.

8th av, s e cor 145th st, build vault, store front to 3-sty brk and stone store and loft building; cost, \$500; Fleischmann Realty & Const Co, 170 Broadway; ar't, S H Levy, 111 W 143d st.—3089.

### BOROUGH OF THE BRONX.

148th st, Nos 230, 232 and 234, new partitions to three 3-sty brk tenements; total cost, \$300; Robert Huson, South Orange, N J; ar't, Thos W Lamb, 224 5th av.—624.

Bronx pl, n s, 150 w Crawford lane, move 2-sty frame dwelling; cost, \$500; Wm W Penfield, Wakefield, ow'r and ar't.—623.

Beaumont av, w s, 225 s 187th st, 1-sty frame extension, 10.3x11.9, to 2-sty frame dwelling; cost, \$200; Jacob and Catherine E Tay, on premises; ar't, Edward A Reinisch, 2315 Cambrelling av.—621.

Decatur av, w s, 245 s 205th st, 2-sty frame extension, 14.6x10, and new porch to 2-sty and attic frame dwelling; cost, \$300; John R Lang, on premises; ar't, Oswald Benedix, 3166 Webster av.—620.

Palisade av, w s, 199.4 s 254th st, new windows, columns, plumbing, heating and new partitions, &c, to 3-sty frame dwelling; cost, \$12,000; Thomas A Buckner, Riverdale; ar't, Robt M Byers, 835 Prospect av.—618.

Sedgwick av, n w cor Depot pl, 1-sty frame extension, 7.4x9.5, to 2-sty frame hotel; cost, \$1,000; Michael Del Papa, 203 Grand st; ar't, G A Schellinger, 37 E 21st st.—622.

Westchester av, s e cor 156th st, new store windows, new partitions, &c, to 4-sty brk store and tenement; cost, \$2,000; Emilie Hildenstab, 2095 Tiebout av; ar't, Franz Wolfgang, 535 E 177th st.—619.

Westchester av, n e cor Eagle av, new show window, to 4-sty brk store and tenement; cost, \$1,500; Nicholas Wielandt, 999 Summit av; ar't, Chris F Lohse, 627 Eagle av.—625.

## Better Than Wall Street.

No time like the present for the investment buyer. Western Union Telegraph stock, a 5 per cent. dividend payer, at the present price of 60½ returns 8.27 per cent. on the money.—N. Y. Herald.

On May 16, 1907, we sold a six-family frame tenement in the Bronx on the installment plan. The buyer was to pay \$50 per month until the price was paid over the first mortgage. November 30, 1907, makes about seven months he has owned the property.

Seven months' payment at \$50 per month.....	\$350.00	
Received rents, seven months.....	582.80	932.80
Insurance .....	33.00	
Taxes .....	53.80	
Interest.....	200.00	
Taxes .....	22.10	
Expenses .....	23.90	332.80
		\$600.00

To November 30 he is credited on the purchase price \$600, making 71 per cent. profit on an investment of \$350 in seven months' time. This, we think, is almost as good as some of the things offered in Wall Street.

WILLIAMSON & BRYAN.

# Construction News Reports

## From the Surrounding Country

### Kings County.

**EAST 15TH ST.**—Benj. Driesler, 13 Willoughby st., has completed plans for four 2-sty frame dwellings, 23x32 ft., for S. A. Brennan, 1768 East 12th st., to be erected on the east side of East 15th st., 100 ft. south of Av P, to cost \$14,000.

**SACKETT ST.**—J. C. Cocker, 103 East 125th st., has plans ready for a 2-sty brick residence, 50x95 ft., for E. Mezyredi, 22 Mulberry st., to be erected on Sackett st., south side, 300 ft. west of Court st., same to cost \$12,000.

**5TH AV.**—Operations will be started at once for three 3-sty brick stores and dwellings, 20x60 ft., which John E. Sullivan, 5819 5th av., will erect on 5th av., east side, 40 ft. south of 74th st., from plans by Eisenla & Carlson, to cost about \$20,000.

**SOUTH 3D ST.**—Work will be pushed on the 6-sty store and flat, 35x82 ft., which Henry Katchheim, 835 Willoughby av., will erect on South 3d st., south side, 40 ft. east of Havemeyer st., to cost \$45,000; Messrs. Hedman & Schoen, 302 Broadway, Manhattan, are the architects.

**EAST 35TH ST.**—The Standard Architectural Co., 150 Nassau st., Manhattan, has plans for the erection of ten 2-sty frame dwellings, 12x40.8 ft., one family, to be built on East 35th st., south of Av D, to cost about \$25,000. Robert L. Waterbury, 354 East 19th st., is the owner.

**WEIRFIELD ST.**—A. Mayer, 936 Madison st., owner, L. Berger & Co., 300 St. Nicholas av., architects, are arranging to erect ten 2-sty brick dwellings, on Weirfield st., south side, 100 ft. west of Irving av., to cost \$35,000.

**HOWARD AV.**—Applebaum & Rosenbaum, 366 Riverdale av., will build on Howard av., east side, 107.9 ft. n. of St. John's pl., a 4-sty brick flat, 20x86 ft., to cost \$40,000. L. Dananher, 377 Rockaway av., is architect.

### Westchester County.

**MOUNT VERNON.**—The commission appointed under an act of the Legislature to build the Bronx Valley trunk sewer, which is to drain the territory from North White Plains to Yonkers, a distance of 12 miles, with an outlet in the Hudson River, 50 ft. from tide-water, has awarded the contract for the construction to the Mack Paving & Construction Co., of Philadelphia. Of the 24 bidders this firm was declared by the commissioners to be the lowest responsible bid for the entire work. The Mack Co.'s bid aggregated about \$1,800,000, which will be \$450,000 below the maximum amount appropriated by the Legislature. A member of the company states that the firm will be ready to begin the work as soon as directed by Chief Engineer George R. Byrne, who is in charge of the sewer.

### New Jersey.

**LONG BRANCH.**—The Coast Concrete Construction Co. has broken ground at Long Branch, N. J., for two new cottages for John H. Parker, on the Cloughly property, in Norwood av. Plans for a third cottage, to be built on the Dr. Slocum lot by Mr. Parker, are being prepared by Architect Sutphen.

**ELIZABETH.**—Louis Quien, Jr., 251 Elizabeth av., is preparing plans and will receive bids until Jan. 1 for a 1-sty and basement church, 65x140 ft., for the German Lutheran congregation, to cost \$75,000.—C. Godfrey Poggi, 2 Julian pl., is preparing plans for a church, near Elizabeth, to cost \$20,000.

**NEWARK.**—Abraham Glassner, the builder, has had plans drawn by Hyman Rosensohn for a 3-sty frame building which he is to build at Sherman av and Alpine st. The estimated cost is about \$8,500.—Frank Grad has drawn plans for two houses which Mr. Bornstein will erect at 13, 15, 17, 19 Vernon st. Both are to be of cement block construction with the slap-dash finish. Both houses will be heated by steam and contain all improvements. The estimated cost for both is \$12,000.

**SOUTH ORANGE.**—George W. Backoff, of Newark, is working on plans for a 2-family residence for Mrs. James Magee, which will be erected on Academy st., in South Orange. It will be located between 2d and 3d sts. It will have all improvements except steam heat.—George W. Backoff has drawn plans for a double residence which Thomas Burke will erect at 79 2d st., South Orange. The estimated cost is \$6,000.

**VAILSBURG.**—Mrs. Emily Meisal has engaged George W. Backoff, of Newark, to draw plans of a double residence which she will erect at 53 Hazelwood av., Vailsburg. It will be fitted with all improvements, including steam heat. Estimated cost is \$5,000.

**SOUTH ORANGE.**—A special committee of the South Orange Board of Education is looking for a site for a new public school building. Henry W. Foster is superintendent of school buildings.

**BELLEVILLE.**—The Board of Education will have plans prepared by Charles Granville Jones for a 3-sty brk school to be erected at Hornblower av and Rutgers st.

**ATLANTIC CITY.**—The First Presbyterian Church has decided to erect an \$80,000 steel and stone edifice.

**COLLINGSWOOD.**—J. A. Quinto, 524 Pine st., Philadelphia, Pa., has secured the contract to erect a 2-sty factory building for the Enterprise Wall Paper Co., at a cost of \$30,000.

**ORANGE.**—The enlarging and improving of St. Mary's Hospital at a cost of \$250,000 is under consideration.

### New York State.

**ROCHESTER.**—J. Foster Warner, architect, Granite Bldg., has plans for No. 26 Public School for the city. Brick will be used in construction. Cost, \$250,000.

**UTICA.**—The Special Committee of the State Fair Commission has adopted plans of Green & Wicks, 110 Franklin st., Buffalo, for developing the fair grounds, which include the erection of the manufacturers' and liberal arts building. The cost is \$200,000.

**ALBANY.**—The Delaware & Hudson R. R. Co. will build an addition to its freight house on Gansevoort st.—John Miller will erect a 2-sty frame flat house at 4 State st. Estimated cost, \$5,000.—The residence of John McIntyre at Prospect Heights, Rensselaer, was destroyed by fire.—Alonzo Burt will erect a 3-sty brk house at the southwest cor of Delaware av and Whitehall road.—Whitney & Co. are considering the erection of a new stable to replace the one

on Hudson av recently destroyed by fire.—The Glenmore Extension Co. will erect several more houses at the North End.

**TROY.**—William Dadson will erect a 2-family frame house on the east side of 9th av., North Troy, near 3d st. Estimated cost, \$6,000.—The Vandercook Paper Co. will let contracts for a new factory building to be erected in Green Island.

**PORT JERVIS.**—The local Elks will erect a new building, to cost \$20,000.

**SYRACUSE.**—M. L. Young is to build two houses, one for \$3,000 at 113 East Lafayette av., and one for \$3,800 at 101 East Lafayette av.—Jerome B. Johnson is to build a storehouse at 115 Tremont st., and Nicholas Farnett will build a stable at 125 East Brighton av.—The Paragon Plaster Co. is to spend \$4,500 in a building at its plant in West Lafayette st.—C. T. Alcott will build a \$3,500 house at 107 East Lafayette av.—S. Martin Peterson has received a permit to build a \$2,500 house at 219 Bryant av.

### Connecticut.

**PINE ORCHARD.**—The Rev. W. W. McLean, of Howe st., has had plans drawn for a shore cottage to be erected in Pine Orchard, and has awarded the contract for the erection of the same to Robert Bradley, of Stony Creek. The plans for this building were drawn by Brown & Von Buren, of New Haven, and call for a structure of frame construction, with a stained shingled exterior. Modern conveniences will be installed.

**NEW HAVEN.**—Plans are being drawn by C. E. Joy for two residences to be erected in Winthrop av., for the Edward Malley Real Estate Co. Each building will be of frame construction, 25x32 ft. A hot-air heating system will be installed in each house.—Architect Joy is also drawing plans for alterations to be made to the Seery House, on Grove st., Savin Rock. A new front will be put on to the building. Work on this building will be completed in the spring.

### Foreign Opportunities.

[Inquiries in which addresses are omitted are on file at the U. S. Bureau of Manufactures. In applying for addresses refer to file number.]

No. 1683. Sanitary improvements.—Consul-General Samuel M. Taylor, of Callao, Peru, reports that the municipality of Callao has negotiated a loan through the Banco del Peru y Londres in London, England, for the sum of \$608,312 at a discount of 20 per cent. and 2½ per cent. commission, at 6 per cent. per annum, the debt to be liquidated in 25 years at the rate of 2 per cent. annually. The net sum which the municipality will receive is \$471,442.19. The proceeds are to be employed in establishing water mains, sewerage system, and for general sanitation purposes. The sewerage system is well under way, and when completed as planned it will be well-nigh perfect. It is being constructed by London contractors.

No. 1684. Light material for fireproof partitions.—One of the American consuls in the British Isles forwards an inquiry from a business man there who desires to know if there is any material shipped from the United States which is as light as pumice stone and in crushed form. This material is desired for use in the manufacture of fireproof partitions, and must be cheap in order to compete with the materials used there, such as coke breeze, clinkers, etc. The consul states that he is not informed of the nature of this material, but he infers that it is some form of crushed lava rock.

No. 1685. Panama Canal supplies.—The Isthmian Canal Commission, Washington, D. C., will receive bids until Dec. 21 for the supply of 4 steel dump barges. (Circular No. 404.)

No. 1688. Metal goods.—An American consular officer in a European city furnishes a list of dealers in all kinds of metal goods, such as sheet iron, tubes, bolts, rivets, implements, shelf hardware, axles, ship's hardware, and all classes of iron and steel, etc. The consul states that these firms are in the market for such goods, and advises that offers be made to them.

No. 1692. Panama Canal supplies.—The Isthmian Canal Commission, Washington, D. C., will receive proposals until Dec. 23, for the supply of electrical material, consisting of cable, wire, flexible conduit, wire attachments, switches, push buttons, shade holders, annunciators, bells, lamp shades, electroliers, incandescent globes, dry cells, wire grips, bit braces, blow torches, fire pots, miter boxes, solder, insulating compound, red fiber, tape, screws, staples, rubber gloves, linemen's belts, etc. (Circular No. 405.)

No. 1693. Representation in South Africa.—Consul Edwin S. Cunningham, of Durban, Natal, reports that an American there, 32 years of age, with eleven years' experience as traveling salesman in Australia and South Africa, being five years with the present firm, having canvassed all the British colonies in South Africa, desires to make a change, and would like to correspond with an American export house desiring a manager for a branch house or to engage a general sales agent in South Africa.

No. 1695. Builders' hardware, stoves, etc.—An American consul in the Orient writes that foreign styles in building the exteriors and very often the interiors of houses have been largely adopted. He states that there is, therefore, a growing market for foreign builders' hardware, hinges, bolts, locks, latches, etc. He further states that corrugated iron is widely used there for roofing and for making temporary buildings. Good and inexpensive stoves should also sell well, and kerosene oil stoves, if properly introduced, would find a ready sale on account of their convenience. A list of hardware dealers at the place in question is furnished, and the consul says that much can be done with catalogues and price lists in this region, as the number of persons who can read English is large.

No. 1723. Street Railway Material.—An American consul in the Orient advises that one of the railroad companies there is considering the project of an electric street railway in one of the cities of the region in question. He suggests that it would be well for American manufacturers of and dealers in street railway material and supplies to communicate with the company referred to.

No. 1724. Paints.—One of the largest paint importers in a Mediterranean city states to the American consul there that he would be willing to import paints from the United States, provided that qualities and prices were on a level with those of European brands. He referred particularly to white zinc as being the pigment imported in the largest quantities. He also stated that quotations would have to be accompanied with samples in small tin boxes.

# THE REAL ESTATE FIELD.

## Real Estate and Building Statistics.

The following are the comparative tables of Manhattan, The Bronx and Brooklyn of the Conveyances, Mortgages and Projected Buildings for the corresponding weeks 1906 and 1907:

### MANHATTAN AND THE BRONX.

CONVEYANCES.		1906.	
1907.		Dec. 7 to 13, inc.	
Dec. 6 to 12, inc.		1906.	
Total No. for Manhattan.....		Total No. for Manhattan.....	
No. with consideration.....		No. with consideration.....	
Amount involved.....		Amount involved.....	
Number nominal.....		Number nominal.....	
129		226	
7		7	
\$158,900		\$132,650	
122		219	
1907.		1906.	
Total No. Manhattan, Jan. 1 to date.....		Total No. Manhattan, Jan. 1 to date.....	
No. with consideration, Manhattan, Jan. 1 to date.....		No. with consideration, Manhattan, Jan. 1 to date.....	
Total Amt. Manhattan, Jan. 1 to date.....		Total Amt. Manhattan, Jan. 1 to date.....	
11,658		19,675	
766		1,177	
\$46,166,240		\$62,194,307	
1907.		1906.	
Dec. 6 to 12, inc.		Dec. 7 to 13, inc.	
Total No. for The Bronx.....		Total No. for The Bronx.....	
No. with consideration.....		No. with consideration.....	
Amount involved.....		Amount involved.....	
Number nominal.....		Number nominal.....	
101		160	
11		7	
\$92,725		\$33,896	
90		153	
1907.		1906.	
Total No., The Bronx, Jan. 1 to date.....		Total No., The Bronx, Jan. 1 to date.....	
Total Amt., The Bronx, Jan. 1 to date.....		Total Amt., The Bronx, Jan. 1 to date.....	
8,573		11,661	
\$6,889,233		\$7,656,551	
20,231		31,336	
\$53,055,473		\$69,850,858	
Assessed Value, Manhattan.		Assessed Value, Manhattan.	
1907.		1906.	
Dec. 6 to 12, inc.		Dec. 7 to 13, inc.	
Total No., with Consideration.....		Total No., with Consideration.....	
Amount Involved.....		Amount Involved.....	
Assessed Value.....		Assessed Value.....	
Total No., Nominal.....		Total No., Nominal.....	
Assessed Value.....		Assessed Value.....	
Total No., with Consid., from Jan. 1st to date		Total No., with Consid., from Jan. 1st to date	
Amount Involved.....		Amount Involved.....	
Assessed value.....		Assessed value.....	
Total No. Nominal.....		Total No. Nominal.....	
Assessed Value.....		Assessed Value.....	
120		132,650	
\$158,900		\$132,650	
122		219	
\$4,642,500		\$8,699,200	
766		1,177	
\$46,166,240		\$62,194,307	
\$34,862,400		\$48,811,775	
10,991		18,498	
\$369,374,600		\$623,057,310	

### MORTGAGES.

1907.		1906.	
Dec. 6 to 12, inc.		Dec. 7 to 13, inc.	
Manhattan.		Manhattan.	
Bronx.		Bronx.	
Total number.....		Total number.....	
Amount involved.....		Amount involved.....	
No. at 6%.....		No. at 6%.....	
Amount involved.....		Amount involved.....	
No. at 5%.....		No. at 5%.....	
Amount involved.....		Amount involved.....	
No. at 4%.....		No. at 4%.....	
Amount involved.....		Amount involved.....	
No. at 3%.....		No. at 3%.....	
Amount involved.....		Amount involved.....	
No. without interest.....		No. without interest.....	
Amount involved.....		Amount involved.....	
No. above to Bank, Trust and Insurance Companies		No. above to Bank, Trust and Insurance Companies	
Amount involved.....		Amount involved.....	
120		191	
\$2,181,249		\$1,183,555	
61		66	
\$779,299		\$316,274	
9		16	
\$213,000		\$73,890	
31		70	
\$714,550		\$510,361	
1		2	
\$15,000		\$12,850	
1		1	
\$80,000		\$10,000	
18		36	
\$459,400		\$260,180	
14		35	
\$419,751		\$297,400	
1907.		1906.	
Total No., Manhattan, Jan. 1 to date.....		Total No., Manhattan, Jan. 1 to date.....	
Total Amt., Manhattan, Jan. 1 to date.....		Total Amt., Manhattan, Jan. 1 to date.....	
Total No., The Bronx, Jan. 1 to date.....		Total No., The Bronx, Jan. 1 to date.....	
Total Amt., The Bronx, Jan. 1 to date.....		Total Amt., The Bronx, Jan. 1 to date.....	
Total No., Manhattan and The Bronx, Jan. 1 to date.....		Total No., Manhattan and The Bronx, Jan. 1 to date.....	
Total Amt. Manhattan and The Bronx, Jan. 1 to date.....		Total Amt. Manhattan and The Bronx, Jan. 1 to date.....	
11,410		17,587	
\$304,084,138		\$370,375,508	
7,627		8,969	
\$68,001,715		\$62,928,286	
19,037		26,556	
\$372,085,853		\$433,303,694	

### PROJECTED BUILDINGS.

1907.		1906.	
Dec. 7 to 13, inc.		Dec. 8 to 14, inc.	
Manhattan.		Manhattan.	
The Bronx.		The Bronx.	
Grand total.....		Grand total.....	
Total Amt. New Buildings:		Total Amt. New Buildings:	
Manhattan.....		Manhattan.....	
The Bronx.....		The Bronx.....	
Grand Total.....		Grand Total.....	
Total Amt. Alterations:		Total Amt. Alterations:	
Manhattan.....		Manhattan.....	
The Bronx.....		The Bronx.....	
Grand total.....		Grand total.....	
Total No. of New Buildings:		Total No. of New Buildings:	
Manhattan, Jan. 1 to date.....		Manhattan, Jan. 1 to date.....	
The Bronx, Jan. 1 to date.....		The Bronx, Jan. 1 to date.....	
Manhattan-Bronx, Jan. 1 to date		Manhattan-Bronx, Jan. 1 to date	
Total Amt. New Buildings:		Total Amt. New Buildings:	
Manhattan, Jan. 1 to date.....		Manhattan, Jan. 1 to date.....	
The Bronx, Jan. 1 to date.....		The Bronx, Jan. 1 to date.....	
Manhattan-Bronx, Jan. 1 to date		Manhattan-Bronx, Jan. 1 to date	
Total Amt. Alterations:		Total Amt. Alterations:	
Manhattan-Bronx Jan. 1 to date		Manhattan-Bronx Jan. 1 to date	
5		12	
25		38	
30		50	
\$303,000		\$372,100	
119,625		604,100	
\$422,625		\$976,200	
\$150,700		\$241,150	
17,800		9,050	
\$168,500		\$250,200	
931		1,600	
1,823		2,091	
2,754		3,691	
\$72,028,350		\$108,177,615	
20,070,574		27,201,130	
\$92,098,924		\$135,378,745	
\$15,486,679		\$19,494,925	

## BROOKLYN.

### CONVEYANCES.

1907.		1906.	
Dec. 5 to 11, inc.		Dec. 6 to 12, inc.	
Total number.....		Total number.....	
No. with consideration.....		No. with consideration.....	
Amount involved.....		Amount involved.....	
Number nominal.....		Number nominal.....	
Total number of Conveyances, Jan. 1 to date.....		Total number of Conveyances, Jan. 1 to date.....	
Total amount of Conveyances, Jan. 1 to date.....		Total amount of Conveyances, Jan. 1 to date.....	
416		593	
21		30	
\$88,300		\$155,501	
395		563	
31,509		45,257	
\$18,686,663		\$26,141,896	
MORTGAGES.		MORTGAGES.	
1907.		1906.	
Dec. 5 to 11, inc.		Dec. 6 to 12, inc.	
Total number.....		Total number.....	
Amount involved.....		Amount involved.....	
No. at 6%.....		No. at 6%.....	
Amount involved.....		Amount involved.....	
No. at 5%.....		No. at 5%.....	
Amount involved.....		Amount involved.....	
No. at 4%.....		No. at 4%.....	
Amount involved.....		Amount involved.....	
No. at 3%.....		No. at 3%.....	
Amount involved.....		Amount involved.....	
No. without interest.....		No. without interest.....	
Amount involved.....		Amount involved.....	
Total number of Mortgages, Jan. 1 to date.....		Total number of Mortgages, Jan. 1 to date.....	
Total amount of Mortgages, Jan. 1 to date.....		Total amount of Mortgages, Jan. 1 to date.....	
496		806	
\$1,934,749		\$3,213,352	
352		307	
\$1,180,512		\$964,593	
87		173	
\$348,450		\$918,500	
36		282	
\$108,971		\$1,152,724	
1		1	

ceived from the Metropolitan Life Insurance Co. on 222 Madison av, \$90,000 for 3 yrs. at 6%, due Dec. 10, 1910. This property is 25x95, and is on Murray Hill. Jefferson M. Levy gave a mortgage of \$165,000 to William B. Bacon et al., trustee for Agustus Hemenway on 114 and 116 Fulton st, 82xirreg., due and rate as per bond.

There were fewer leases made this week, though there are several important ones under way. A large building downtown is going to be remodeled as soon as the lease is signed, and when it is announced it will probably be one of the most important recorded for some time past. Those who make a specialty of this side of the real estate field look for a good period prior to February 1st, when many of the business leases run out.

Taking all things together there will be a mighty sigh of relief when the brokers can tear the last day off the 1907 calendar and look ahead to the promises of the New Year rather than look back on the disappointments of the one just ended.

The total number of mortgages recorded for Manhattan this week is 120 against 201 last week, and in the Bronx 51 as against 138 last week. The total amount involved is \$2,321,599 as against \$4,751,146 last week.

The total number of sales reported is 31, of which 8 were below 59th st, 15 above and 8 in the Bronx.

## THE AUCTION MARKET

The market this week offered some very good pieces of property. At the stand of Joseph P. Day on Wednesday was offered some Bronx lots which were put up last week at an upset price of \$14,400. A number of these properties brought better prices than those offered at last week's sale and they brought about enough to satisfy the incumbrances. This was only so in the case where 60% was allowed to remain on mortgage at 5½% for one or two years. Those lots that were all cash transactions went to the plaintiff as they attracted no outside buying. The next most important sale of the week occurred on Thursday when Mr. Day put up several parcels at voluntary sale. The northwest corner of Lexington av and 23d st was bid in at \$200,000. This property was formerly owned by the American Ice Co. and they sold it to the Matlock Realty Co., who in turn transferred it to Arthur R. Parsons and Ralph M. Holzman. Nos. 103 to 109 Lenox av was sold to Sigmund Wechsler for a client for \$276,000. This is a 6-sty elevator apartment with stores, and known as the "Stratford." It occupies 100.11x100. On West 125th st Nos. 151 and 153 went to Charles D. Hilson for \$179,000. This is a 3-sty structure known as the "Hawthorne" Building, 50x99.11. The southeast corner of 123d st and Lexington av, 35x100.11, a 5-sty flat with stores went to Sigmund Wechsler for a client for \$81,000. Dr. John J. Sweeney, who is the present occupant of 318 West 23d st, purchased that property for \$23,050. This is a 4-sty stone dwelling, 21.10x98.9, and was sold in partition. Nos. 304 to 310 West 150th st, two 6-sty flats, was adjourned to January 14. On the north side of 138th st, 275 east of Lenox av, 75x99.11, went to the plaintiff for \$20,000. The amount due on this parcel was \$24,098.37, besides taxes, etc., which added something like \$666.93 to that total.

The net results of the week are about what was anticipated. There are few people unreasonable enough to expect wonders at a time like this. As long as sales are not a flat failure people should be content. Many people who ordinarily would purchase in the auction mart hesitate to do so at the present time, fearing that they will have difficulty in placing a mortgage on the property, and then they are in many cases satisfied to place their money directly on mortgage where they can get large interest returns. Undoubtedly the auction sales will be comparatively few until after the holidays when (according to that class of men who make this feature of real estate a specialty) things will probably become more active and prices obtained more satisfactory.

## Stocks vs. Real Estate.

"Big Four" at about 110, the highest price at which it sold this year, returned as a 4 per cent. stock the low rate of 3.6 per cent. on the investment. Cleveland, Cincinnati, Chicago and St. Louis ("Big Four") is a railway essential to the New York Central lines. Paying 4 per cent., at the low price of 54½ it returns 7.28 per cent. on the investment.—New York Herald.

Those who invested in "Big Four" stock at 110 can sell it now for only half what they paid for it. Maybe it will come back, and maybe it won't.

But real estate in central sections of New York steadily increases in value. An instance: In the year 1901 a lot on Eighth avenue, 25x100, with an old building on it, was bought at auction for \$42,500. A few months ago the same property sold for \$80,000. It paid annually a good interest on the investment, over and above the carrying charges, and finally a profit of 90 per cent. on the purchase price.

## Mr. Sands on the Mortgage Money Situation

In speaking of the condition of the mortgage money situation Mr. B. Aymar Sands said:

"While mortgage money has been very scarce and the rates of interest high during the past year, and particularly during the last three months, I am of the opinion that within a short time after the opening of the new year these rates will materially decrease, and money seeking investment in this form of security will become much more plentiful.

"Prior to the beginning of the present panic," continued Mr. Sands, "the rate of interest on mortgages had been high, on account of the great industrial activity not only of this country but of the commercial and manufacturing world. There was not sufficient money, either in currency or on credit, to finance this general expansion of trade, and rates of interest in all lines of business were very high. The panic, however, created a new and more aggravated condition of affairs. Frightened depositors withdrew great sums of currency from the banks and trust companies, and compelled these institutions to reduce their lines of credit.

"The alarm spread from the depositors to the banks themselves, and they, in turn, accumulated large amounts of currency, in many cases much in excess of their required reserve. To fill the void so created, \$100,000,000 of gold was imported from abroad, the national bank circulation was largely increased, and the United States Treasury made large deposits of its surplus funds in the banks. These conditions have created a great contraction of business and a large reduction of loans; the net result has been a marked inflation of currency and the locking up of the money so added to this circulation in the vaults of the banks and in the pockets of individuals. The tide, I think, has now turned in the opposite direction, and confidence is being restored, so that hoarded money is being returned by the depositors to the banks, and by the banks, in the shape of loans, to the public. Business having been very much contracted, there will be less demand for credits, with the result that the deposits and reserves of the banking institutions will increase rapidly and to an unprecedented amount. Rates of interest will naturally fall, and the rates of interest on mortgages are likely to be correspondingly reduced.

"My views are based," continued Mr. Sands, "very largely upon the opinions of our leading banking authorities in this city, who all concur in thinking that money will be very cheap after the beginning of the year. From the point of view of my own personal experience, I see a little slackening in the interest rate on mortgages, and a more general disposition upon the part of lenders to make investments of this character. The growth of this disposition, for reasons which are generally known, must, however, be gradual, as none of the financial institutions, that is to say, the life insurance companies, the savings banks and the banks and trust companies, are at present in a position to invest money in mortgage securities. The only money now available is that coming from the charitable institutions, the smaller class of investors and the trust estates."

## Permanency of Manhattan Realty.

"Just wait for a little time before you buy. Don't be hasty. Things will soon be selling cheaper than they are at present." How many times have brokers heard words to this effect during the past twelve months. Have any bargains (?) been secured? Is property selling any cheaper than it did a year ago when these remarks were made? The answer would probably be "very few, indeed." When stocks went down in 1903 were there not dire predictions affecting the real estate market made? Did prices crumble?

The true state of affairs is that this city and country is growing. It is not decaying. We are only children as yet. This city must be built, rebuilt and built again before even stationary prices such as prevail in London at the present time will be the rule. If one looks carefully over the real estate field, taking almost any section, he can readily see the reason for all this.

Take, for example, a given lot 25x100, for which as vacant property \$10,000 is obtained. A builder purchases it and, for argument's sake, we will assume that he has paid every dollar that the lot is worth. The observer will say "That man is going to lose money. He cannot possibly get out alive after paying the full market price." In the course of time the builder erects a private dwelling on this lot which, for the sake of easy figures, costs him \$8,000 to build. He sells this lot with the dwelling erected on it for \$22,000. The same remarks can be heard from all over the neighborhood that the purchaser has been landed, and when he wants to sell he will have the sympathy of the entire community.

This second owner either lives in his house or rents it. In the course of time things happen. Either it becomes desirable for residential purposes, or business in one form or another creeps in, or it is becoming an apartment house neighborhood.

Should the first of these last-mentioned contingencies arise, he raises the rents of his house, unless he is occupying it himself, and sells it at an advanced figure on an investment basis; or in the second event he does one of two things, sells it to a builder, who will proceed to convert it into a mercantile house

of some kind or other or does the converting himself. Or, should it become desirous to erect an apartment house, it probably would be put in for sale with the house next door and sold as plottage, in which form it will almost invariably bring a larger price. So, in one way or another, the property passes into stage number three. When the business building or apartment house is finished, it is of course rented on an entirely different basis, and the value of the lot differs from its first price.

There is not much doubt, but that several sections of the city have had their normal advance and in some instances have discounted future improvements to a certain extent, but after all the profit has been made, by one man or another. The proportionate amount that each of the successive owners received depended entirely on his knowledge as to when to buy and when to let go.

Owing to certain laws that have been passed the "private dwelling step" is gradually being passed over and in the newer sections of the city, such as the Bronx and Washington Heights, builders are erecting apartment and tenement houses on vacant property. The fire laws prohibiting the building of frame dwellings or frame buildings of any kind are in a measure responsible for this state of affairs, and then the laws that are in force at the present time regulating the size of rooms and amount of air-shaft area, etc., that must be given to each house, are having their effect. Where it was possible to build an apartment on a lot, say 25x100, some years ago, to-day it is not considered good policy by builders. Practically the only private dwellings that are being constructed in Manhattan at the present time are those that are being built for men of wealth, for their own use.

People must have a place to live. Whatever else they may deprive themselves of, this item is indispensable. On this point hangs the permanency of Manhattan realty values. Judgment, of course, should be exercised and desirable growing neighborhoods selected when purchasing. It is only reasonable to suppose that localities that have had enormous increases in values will have to remain quiet for a time until prices in other sections have adjusted themselves to the new conditions. It is the steady, normal enhancing of values that tells in the long run, and those who purchased property in any section of the city some years ago will find their property worth more to-day than ever before.

### Auction Market Statistics.

A GREAT deal of attention is being given at the present time not only by people in the real estate business, but also by intending purchasers to the auction market. There has been some hesitancy on the part of the investor to purchase at private sale, on the ground that he might be able to pick up something very cheap in the auction mart. The real estate broker on the other hand has been scrutinizing prices brought by various parcels with the view of finding out whether this branch of the business is interfering seriously with his own particular specialty.

There is a great deal to be said on both sides. Of course the present time is not the most favorable one imaginable to dispose of property either at private sale or at auction. In the case of the former the holders of realty have not made serious concessions and the prospective purchasers have held off for a drop in price, which has not as yet come and in the latter case the tightness of the money market has had a decided influence. It has been noticed that where a good sized mortgage is allowed to remain for a reasonable period that good prices have been obtained. On the other hand, when all cash has been required, in several instances, either very low bids or none at all have been received.

A notable instance occurred a couple of weeks ago when eight lots were put up at auction to prevent a foreclosure and the prices brought were so low that the receivers refused to confirm them. They were put up the following week with an upset price of \$14,400, but not a single bid was received at that price. When foreclosed they went to the plaintiff who bid them in for about the amount of their liens.

High class property has brought very fair prices considering the condition of the present situation. The Hotel Saranac, which sold during the week ending October 16th for \$919,000, was a remarkable example. It showed plainly that there were a number of people who were not afraid to place their money in well located realty. Undoubtedly this valuable parcel would have brought more money in quieter times, but then the price received is understood to be considerably more than was paid for it by the sellers.

During the quarter including July, August and September, which of course is considered the quietest one in the auction market, as they are the summer months, there were a total number of 96 parcels sold. The amount involved was \$3,510,048. There were 34 pieces adjourned or withdrawn. Of these sales 48 were below 59th st and they brought \$1,016,394. The sales above 59th also numbered 48 and \$2,493,654 was received for them. Of those adjourned 10 were below 59th st and 24 above.

The largest sale below this street was 429 to 433 Greenwich st on the northeast corner of Lighthouse st, 125.6x83x irreg. It was a 9-sty loft building with stores. It was a partition sale and was purchased by Edward T. Haywood for a party in interest,

for \$235,000. Above 59th st the property 620 Lenox av, which included 75 to 79 West 141st st, 99.11x150 three 6-sty brick tenements with stores on the avenue, went to Simon Guisburg for \$165,000.

During October and November last 361 pieces of property were offered at auction, 316 of which were sold, and 45 were either adjourned or withdrawn. The total amount received for those knocked down was \$7,440,573. The largest amount received for any one property was brought by the Hotel Saranac, as already referred to, \$919,000. The following table giving week to week sales will give perhaps an idea of how the market has been acting recently.

Week of	Amount Received.	No. of Sales.	No. Adjourned.
Oct. 5th .....	\$892,854	18	2
Oct. 12th .....	477,461	16	1
Oct. 19th .....	1,219,519	94	4
Oct. 26th .....	851,092	23	13
Nov. 2d .....	381,750	58	4
Nov. 9th .....	323,135	11	9
Nov. 16th .....	2,346,930	13	4
Nov. 23d .....	644,355	77	6
Nov. 30th .....	303,377	6	2
Total .....	\$7,440,473	316	45

The total amount realized from property sold at auction from January 1, 1907, to Nov. 30, 1907, is \$36,622,478.

For the corresponding period last year, \$29,311,349, making a difference of \$7,311,129 in favor of this year's total.

## PRIVATE SALES MARKET

### SOUTH OF 59TH STREET.

#### City to Purchase Walker Street.

WALKER ST.—The city decided to take one-half of the buildings at 119 to 125 Walker st, between Centre and Baxter sts, for the new Subway loop connecting the Brooklyn and Williamsburg Bridges. This property faces the Harry Howard sq.

18TH ST.—Peter P. Sherry sold for James Adam to Edward Holtin 324 West 18th st, a 3-sty dwelling, 20x92.

22D ST.—Colin M. Eadie sold for Mrs. Bridget Dawson to Chas. A. Christman 482 West 22d st, a 4-sty flat with stores, 20x74.1, leasehold, at the southeast cor of 10th st.

#### Dwelling Changes Hands in 26th St.

26TH ST.—Ames & Co. sold for Sarah Bell 26 East 26th st, a 3-sty brick dwelling, 19x50. The property is 81 ft. east of Lexington av, and is a key to the southeast corner of Lexington av and 26th st, and directly opposite the 69th Regiment armory.

37TH ST.—Douglas Robinson, Charles S. Brown & Co. sold for W. G. Pigueron 126 East 37th st, a 4-sty and basement stone front dwelling, 18.9x49.5, to Dr. J. M. Hitzrot.

3D AV.—John M. Reid sold for John J. Frielingsdorf the north-west corner of 3d av and 37th st, being a 4-sty building, with stores and basement, 27x80, building covering entire plot. Mr. Reid sold this property to Mr. Frielingsdorf over a year ago, who now realizes a substantial profit on this sale, showing a noticeable increase in values on the East Side, between 34th and 42d sts. Adjoining on the west is a row of brownstone private dwellings.

### NORTH OF 59TH STREET.

64TH ST.—Pease & Elliman sold to Mrs. Russell Sage the 4-sty dwelling, 20x100.5, No. 33 East 64th st, from Gustave Schooler. Mr. Russell Sage owned this house several years ago and sold it. This gives Mrs. Sage a plot 100x100.

#### Columbia Leasehold Transferred.

86TH ST, ETC.—The McVickar-Gaillard Realty Company bought for a client, for occupancy, 29 West 86th st, a 4-sty brownstone dwelling, 23x100.8; also sold to a client the Columbia leasehold property, 63 West 48th st, a 4-sty brownstone dwelling, 22.3x100.

111TH ST.—G. Tuoti & Co. bought for a client the 6-sty apartment house 300 West 111th st, southwest cor of 8th av, 71x74.2x irregular.

112TH ST.—Samuel Krakower bought for a client from Levy & Schilt the 6-sty elevator apartment house 250 and 252 West 112th st, 50x100.

#### Mandeline Apartment House Sold.

118TH ST.—Slawson & Hobbs sold for Abraham Felt to an investor the 7-sty elevator apartment known as the "Mandeline," 425 West 118th st, at the northeast cor. of Amsterdam av, 74.10x100. There are five apartments, with a total number of 29 rooms on a floor. There are also five stores. The asking price was \$240,000.

120TH ST.—G. Tuoti & Co. sold for M. Marrone to Jacob Newmark, the northwest corner of 120th st and Lexington av, 65x100.11. Directly on the north is the "Dorothy" apartment house.

121ST ST.—George F. Picken sold for Mrs. E. Corcoran 127 West 121st st, a 3-sty brownstone dwelling, 20x100. This property was held at \$28,000.

123D ST.—George F. Picken, as broker, sold 229 and 231 East 123d st, two 4-sty dwellings, 25x100. The asking price of this property was \$18,500. These buildings have a depth of 35 ft. Mary Ehrhart purchased the property July 19, 1883.

COLUMBUS AV.—New Amsterdam Realty Company bought No. 225 Columbus av, a 5-sty triple flat, with store, between 70th and 71st sts, 25x100. The building has a depth of 87 ft., and it adjoins the "Tuxedo," a 50.5x100 6-sty apartment house, on the north.

#### Large Apartment House Trade.

CLAREMONT AV.—Slawson & Hobbs have sold for the Nova Realty Co. the three 5-sty apartment houses 182, 184 and 186 Claremont av. These houses have a frontage of 40 ft. each and are built to a depth of 88 ft. and are part of a row of 5 houses. They are subject to a mortgage of \$11,500 each, and another of \$46,000



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due April 30, 1910. In part payment a 7-sty apartment house on the northeast cor of 118th st and Amsterdam av was given. This house occupies a lot 75.10x100.

BROADWAY.—Hall J. How & Co. sold for the Realty Operating Co. to Mrs. Mary T. Donovan, widow of Timothy Donovan, the 3 lots, 75x100, on the east side of Broadway, 50 ft. north of Dyckman st. Mrs. Donovan owns the northeast cor of Broadway and Dyckman st, 50x100, and now controls a plot 125x110.

### BRONX.

ELM PL.—Casey & Irwin sold for Thomas C. Lisk to Samuel R. Waldron a 2-family dwelling on the west side of Elm pl, near 189th st. This is the last one of a row of houses built by Mr. Lisk.

138TH ST.—George Price sold for Cornelius Van Cleef No. 493 East 138th st (old No. 751), a 5-sty double flat, about 200 ft. west of Brook av, to Frank H. Fischebeck.

189TH ST.—G. Tuoti & Co. sold to N. Giordano 40x87.5 at the northeast cor. of 189th st and Hughes av.

### Operators Make Several Purchases.

218TH ST, ETC.—A. Shatzkin & Sons bought from Livingston & Turk a plot, 100x114, on the south side of 218th st, 181 ft. east of White Plains av. The same firm has sold to a client the northwest cor of 215th st and 5th av, 105x89; also, to a J. Mariano a plot, 50x109, on the north side of 216th st, 125 ft. east of 5th av; also, a plot, 100x109, on the north side of 223d st, 276 ft. east of 6th av, and to Vincenzo Magaldi lots 311 and 312 in Laconia Park, 50x100.

BROOK AV.—Titus Kroot sold for John J. Buscall to Mrs. August Raible 1255 Brook av, a 5-sty apartment, steam heat, hot water supply, 45x90.

COLLEGE AV.—Titus Kroot sold for Charles Knauf 1318 College av, a 2-family house, 16.8x100, to Gustave Scharre.

### E. H. White Sells Dwelling.

MARMION AV.—Warch & White sold for E. H. White the 4-sty 3-family brownstone dwelling at the cor of Marmion av and Fairmount pl, 25x100, to C. D. Degenshardt.

WEBSTER AV.—Titus Kroot sold for Mrs. August Raible 1736 and 1738 Webster av, two 4-sty double flats, 50x100, with hot water supply, to Mary Millinger.

WESTCHESTER AV.—Steven B. Ayres sold for the owner to James Forbes and another one-half of the plot fronting on Westchester av, between Home and Freeman sts. This property is directly across the street from the new station of the N. Y., New Haven & Hartford R. R. Co.

### Third Avenue Flat Purchased.

3D AV.—Adolph Cohn sold for Franz Hummel the 5-sty triple flat, 25x100, between 171st st and Wendover av, with store, 3818 3d av, to a Mr. Steffens, owner of the adjoining property, No 3820.

### LEASES.

Lee & Rusk leased 106 West 94th st, a 3-sty dwelling, 16.8x100.8, to Mrs. Jennie Hopkins, of Boston, Mass.

Henry Corn leased to Gitsky & Co. the 2d loft in 110 5th av for 5 years, at an aggregate rental of \$50,000.

Whitehouse & Porter rented for Mrs. Austin Corbin the 5-sty American basement dwelling 76 Park av to John L. Elliott.

Whitehouse & Porter rented for Col. George R. Dyer the 5-sty American basement dwelling 45 West 55th st, to Alfred P. Hinton.

G. Tuoti & Co. leased for J. Pascusz the 7-sty tenements Nos. 54, 56 and 58 Elizabeth st, for a term of 3 years, at an aggregate rent of \$40,000.

Dunworth & Gasser leased 222 West 48th st, a 4-sty building, for a term of years to E. Genot; also 115 West 28th st, a 4-sty building, to Francis Soube.

Sol Stern leased to Leinhos, Engleke & Bock the store and basement at 151 Grand st, southwest cor of Lafayette st, containing about 10,000 sq. ft., for a long term of years.

S. W. Gallert & Co. leased from Alfred J. Cammeyer 16,000 sq. ft. in the Cammeyer Building, at the southeast corner of 6th av and 20th st, for 5 years, at an aggregate rental of \$37,000.

John N. Golding leased to W. D. Hatch & Son for the estate of Charles T. Barney the offices formerly occupied by Mr. Barney on the third floor of the Empire Building, at 71 Broadway.

Mark, Werdenschlag & Pett leased for T. Zindler for a term of years 8 to 14 East 117th st, two 6-sty apartment houses, 80x100; also for Rose Brown, 7 West 133d st, a 5-sty double flat.

Duross Company leased for Joseph Solomon & Son the 5-sty business building, 162 West 20th st, for a long term of years, to the Sigmund Ziegel Company, who will make extensive improvements on the property for their business.

John Hoge, of Zanesville, Ohio, has leased the property 34 and 36 Cooper sq for 20 years from May 1, 1908, at an annual net rental of \$10,000, to L. Barth & Son, now at 32 and 34 Cooper sq. William Spencer was the broker in the deal.

Pease & Elliman leased for Klein & Jackson the store at the southwest corner of Broadway and 83d st, for a term of years. The same brokers also leased the stable at 239 West 68th st. The lessee will convert the structure into a garage.

Chas. F. Noyes Co. leased for the Royal Ins. Co. nearly an entire floor in the Royal Building, William st and Maiden lane, to the American Bonding Co. of Baltimore, for a long term of years, and a

large suite of offices in the same building to Abm. S. See & Depew, Inc., for 5 years.

John N. Golding leased the store at 96 Broadway, in the Schermerhorn Building, to Spies & Long, for a term of years, at an annual rental of \$7,500. Also a large suite of offices on the 16th floor of the City Investing Building to Alexander R. Gulick, F. F. Woodruff, R. H. Holland and A. C. Bassett.

Sol. Stern leased for Messrs. S. Langsdorf & Co. 50,000 sq. ft. of space in the new building Nos. 72-78 Spring st for a long term of years at an aggregate rental of about \$250,000. Mr. Stern has also leased to Messrs. Leinhos, Engelke & Bock the store and basement of the building No. 151 Grand st, southwest cor Lafayette st, containing about 10,000 sq. ft. for a long term of years.

Cammann, Voorhees & Floyd leased for the estate of E. Christian Korner to the Baird-Daniels Company the building 143 and 145 West Broadway; also the building 62 Vesey st, for J. Archibald Murray; also the store at 51 Vesey st, to S. Schendel & Co.; also the store at 99 Pine st, for J. N. A. Griswald to De Forrest Hicks, and the southeast corner of Broad and Stone sts for Leonard Weill to Belzarini & Barrone, who will erect a building on the lot for their own occupancy.

Pease & Elliman leased for the Hudson & Manhattan Railroad Co. the store at the northwest cor of Cortlandt and Church sts to A. Schulte. With the lease goes the exclusive privilege of selling tobacco in any form in the great terminal buildings, and also the use of five booths in the two structures. One of these booths will be in the main corridor of the Cortlandt st building, another in the main corridor of the Fulton st building, and the remaining three at points on the concourse floor, below the street, one at each end and one in the middle. The corner store has an area of 600 ft., for which \$30 a sq. ft. annually will be paid. No leases will be made by the McAdoo managers for a longer period than 12 years, and all leases begin May 1 next, when the buildings will be ready for occupancy. The present lease is the result of negotiations closed by Robert A. Grannis, Jr., vice-president of the Pease & Elliman corporation.

### SUBURBAN.

LITCHFIELD, CONN.—The McVickar-Gaillard Realty Company has sold Highland Farm, consisting of 500 acres and 21 buildings, near Litchfield, Conn.

INTERLAKEN, N. J.—Dunworth & Gasser sold at Interlaken, N. J., seven 50-ft. plots to Jacob Tobler, who will erect a country residence on the property.

ARROCHAR, S. I.—Cornelius G. Kolff sold for Anna M. King to Briton Davis, of Manhattan, the large dwelling, with grounds, at the corner of Tompkins and Richmond av, Arrochar, S. I.

The Columbia Investment & Real Estate Co. reports the following sales: To Max and E. Shidecker 50x100 on the northeast cor of Highland and Hillside avs, Grantwood. To Anton Bohm 37½x83 on the north side of Oakwood av, Hudson Heights.

RAHWAY, N. J.—R. Wilmarth Appleton bought through Spencer & Clarke the entire block front in Rahway, N. J., known as the Hotel Wyndham, together with the flats adjoining. The property is directly opposite the contemplated electric railroad terminal, and will undergo extensive improvement.

### Sales Along the Palisades.

Carrie N. Stenlein sold to Lewis M. Adams 39x100 on the southwest cor of Lincoln av and Grove st, Ridgefield Park. James Christie sold to Walter E. and Chas. P. Wood 25x100 on the south side of Myrtle av, Fort Lee. John Niewiadomski sold to Peter Borek 50x100 on the east side of 7th st, Palisades Park. Edward B. Edwards sold to Patrick Murray plot consisting of 4 lots on Washington av, Coytesville. Charles Roland sold to Frank G. Brunella 100x128 on the west side of Palisade av, Fort Lee. John E. Ferdinand sold to John E. Ferdinand, Jr., 144x150 on the east cor of Winterburn Grove and Riverview av, Cliffside Park. Walter E. Ellis sold to James A. Van Valen plot 30x274 east of the centre of Undercliff av, Edgewater.

SOUTH NEW YORK, S. I.—Wood, Harmon & Co. report the following sales at South New York, Staten Island: To Morris M. Nathan, a plot on the west side of Decatur av; to R. Palet a plot at Richmond Turnpike and Merrill av; to William Donough, a plot on the east side of Northern Boulevard; to John Moran, a plot on east side of Northern Boulevard; to William Gallagher, a plot on the east side of Northern Boulevard; to Henry Larson, a plot on the south side of Bristol av; to William P. Davis, a plot on the west side of Northern Boulevard; to E. H. Phinney, a plot on the west side of Logan av; to Jeremiah Sullivan, a plot on Logan av; to C. W. Anderson, a plot 100x100 on the north side of Belvidere st; to W. R. Barbour, a plot on the west side of Herberton av, and to T. A. Corbett, a plot on the west side of Herberton av, near Watchogue road.

### Two Large Mechanic's Liens Filed.

The Dayton Construction Company filed a mechanic's lien against the Montross Bond and Realty Co. on 44 to 58 West 77th st, for \$443,500. This lien is for labor, excavation work, foundation work and materials, consisting of cement, lumber, etc., to be furnished.

Another lien for \$92,750 was also filed against this same company as owner, and the Dayton Construction Company as contractor, on the property 44 to 50 West 77th st, by Lewinson & Co., for plans, etc., and structural iron and steel work. The Montross Company was organized last year for the purchase of the Manhattan Square Hotel and the adjoining plot, with the intention of erecting a studio apartment to be run in connection with the hotel. The capital of the company is \$250,000 and the directors include F. A. Wagner, J. T. Emery and C. R. Coulter.

### Auctioneers' Association's Annual Meeting.

The members of the Real Estate Auctioneers' Association held their annual meeting last week at their salesroom, 14 and 16 Vesey st. The following officers were re-elected: James L. Wells, President; Morris Wilkins, Vice-President; William F. Redmond, Treasurer, and D. Phoenix Ingraham, Secretary. The Executive Committee will be made up of Solomon de Walltearss, Chairman; Bryan L. Kennelly, Joseph P. Day, Samuel Goldsticker and J. Barry Lounsberry.

## REAL ESTATE NOTES

Charles A. Fox sold 143 East 73d st, a 3-sty dwelling, 15x102.2.

The sale of 195 St. Nicholas av, a 5-sty flat, 29.7x87.11irreg.

J. F. Schuyler sold 249 West 126th st, a 4-sty single flat, 25 x99.11.

Mrs. Mary O'Neil denies that she has sold her dwelling, 361 West 19th st.

The Harlem Property Owners' Association held a meeting last night at 147 East 125th st.

The 5-sty single flat, 318 East 125th st, 18.9x100.11, has been reported sold by Matilda Rhellander.

Young man seeks position in repair department of estate or real estate firm. See Wants and Offers.

A collector having a good knowledge of value of repairs seeks position with an estate. See Wants and Offers.

The United Real Estate and Trust Company sold 2 lots on the west side of Grand av, 130 ft. south of Burnside av.

Schmertz Brothers, of 325 East 21st st, sold 195 St. Nicholas av, a 5-sty double flat with stores, 29x87 and irregular.

The Republic of Panama loaned \$50,000 for 3 years at 5% to Mrs. Kate A. Rogers on the private dwelling, 14 West 72d st.

The regular meeting of the House and Real Estate Owners' Association was held last evening at Turn Hall, 85th st and Lexington av.

There is an opening for an active young man to engage in established real estate business. No salary but interest in commissions. See Wants and Offers.

Fitzgerald & Perry have recently opened a real estate and insurance office at 431 Lenox av. They are new comers to the city, but old-timers in the real estate business.

Archibald L. Hamilton filed a mechanic's lien for \$2,435 against the Hamilton Bank as lessee on the property 213 and 215 West 125th st, for repairs on the building.

Isidor H. Kempner, of 626 Eighth av, is the buyer of the 5-sty building, 292 Bowery, near Houston st, sold recently. Mr. Kempner is the owner of other real estate in Manhattan.

Clementine M. Silverman placed a building loan of \$70,000 on the property on the north side of 110th st, 150 ft. west of 7th av, 100x100. Madelbaum & Lewine were the lenders.

Justice Truax appointed David Ryan receiver of the rents of 158 to 162 East 84th st, pending a suit brought against Matthew F. Mulvihill et al by Jacob T. Hildebrandt to foreclose a third mortgage of \$15,000.

Eugene J. Busher was the broker in the sale of the plot 158x100 on the west side of Concord av, 150 ft. south of 149th st; also two 3-sty brick 2-family houses on the east side of 174th st, 100 ft south of Gleason av.

Jacob Leitner, of Westchester and Prospect avs, holds an optimistical view of next year's real estate development. Mr. Leitner sees no threatening clouds on the Bronx horizon, but he says that he notices an increasing number of investors looking around for gilt-edged realty.

William T. La Velle, of 1145 Freeman st, says that the Freeman st section is keeping abreast of the Bronx growth, and still it is difficult to find apartments for all who desire to locate there. As in other sections of the Bronx, building has not stopped and many two and three-family houses are being erected, which will all be rented almost before they are completed.

It is often the case that real estate men in almost adjoining offices will hold opinions in variance to the condition of business in their particular section. The optimist is generally the man who keeps busy, if not scouting for customers, getting his office ready for a rushing business, come when it may. The other fellow looks his part and makes a man with a pocketful of real money feel in sympathy.

### Small Broad Street Corner Leased.

On the records last week appears a lease to Edward Balzarini and another of the northwest corner of Broad and Stone sts. This is one of Manhattan's "littlest parcels." It has a history of some interest in lower Manhattan real estate. In 1896 the New York Telephone Company purchased the block front on the west side of Broad st, between Stone and Pearl sts, all except a small parcel on the northwest cor of Stone st. This piece of land is 10.6 on Broad st x 20.6 on the north x 13.10 on the west x 20.3 in Stone st. When overtures of purchase were made to the owner of this land he replied that it was for sale at a figure, but was undetermined just what price would buy it. It is understood that the Telephone Company offered \$50,000 for this diminutive lot and the proposition was refused on the ground that the company would "need it." The Telephone building was built and this property was left out. Some time later this same land was sold at public auction for \$16,200. Mr. Leonard Weill, the present owner, was the purchaser. The lease just recorded is for 5 years from January 1, 1908, and is at an annual rental of \$1,000. There is going to be erected on the plot a two-story building.

# PROPERTY OWNERS' SECTION.

## Extension of Sixth and Seventh Avenues.

At a meeting of the Board of Estimate and Apportionment held on Nov. 22 in the interest of the extension of Sixth and Seventh avs and the widening of Varick st four plans were presented, known as A, B, C and D.

Plan A represented a petition of property owners of a majority of the assessed valuation of property on Seventh av; also over 500 properties in the old Ninth Ward, including a majority on lower Sixth av.

The petition has the endorsement of the Merchants' Association, the Merchants' and Manufacturers' Board of Trade, the Team Owners' Association and the Automobile Club of America, also 34 real estate brokers who have charge of property throughout the district, all being property owners. Besides, a number of large property owners and prominent persons distinguished in the affairs of the city have written personal letters to the Mayor in favor of the movement.

Plan B represents the City Improvement Commission, which practically endorses Plan A, but proposes to continue the extension of Seventh av to Canal st and West st and Sixth av to Chamber st and West st.

Plan C favors the widening of Carmine st on the north side and the extension of Seventh av, as proposed by Plan A.

Plan D, report of the engineer of the Board, proposes to substitute the widening of Carmine st for the extension of Sixth av and the widening of Varick st to Canal st only, both of which is opposed by the property owners, who have presented a strong protest against the report.

Mr. C. C. Hickok, who represents the property owners under Plan A, gave his views before the Board of Estimate on this subject, in part as follows:

"If one stands on 6th av and 4th st and there sees the number of men, women and children, waiting for a downtown car, I think you would agree with me that the extension of 6th av ought to be made, if for no other reason than in the cause of humanity.

"If you ask why the widening of Carmine st will not fill the same mission, the answer is, that under statute laws of the State a street railroad company before changing its motive power is required to obtain the consent of owners of one-half of the assessed valuation of property along the line of the proposed improvement.

"Trinity Corporation, owning a majority of the property in Varick st, from Clarkson to Canal st, has refused this consent to the Metropolitan Company for the reason that their trusteeship did not give them the power to deed away the rights of the corporation without receiving a proper compensation therefrom.

"The Metropolitan had its recourse by going to the Appellate Division of the Supreme Court and there asking for Commissioners to assess the damages, if any, but this was not done. Instead 6th av traffic was diverted through 3d and 4th sts to West Broadway, an already over-congested thoroughfare.

"Grant the extension of this avenue and the property along the line can be used in connection with that of Varick st not owned by Trinity, to obtain the necessary legal consents for the electrification of the road on this street and thus afford 6th av an opportunity for direct downtown transit, and by bringing the 4th st cars on 6th av to Broome st, close connection will be made with the 7th av lines, thus doing away with this delay at 4th st. A larger demand for up and downtown surface accommodations will be created on the completion of the Pennsylvania improvements, and 7th av offers the only opportunity for increasing the service. Canal st, is should be remembered, is the great downtown central artery between East and West sides. Furthermore, in addition to this traffic, the 8th av cars run on Canal st from Hudson to West Broadway; then there is a Canal st crosstown line, the Grand st and Williamsburgh Bridge line; also the 6th av, South Ferry line, crosses at this junction to West Broadway, making altogether five lines of cars already invading this thoroughfare. By widening Varick to Franklin st the 7th av cars will escape the congestion at West Broadway and thus afford to the travelling public the transit accommodations which they demand and are reasonably entitled to.

"This question of transit on the West Side has become a serious question to the property holder, as well as to the city, as shown by the startling figures and land values given by the engineer in his report, wherein the block from West 14th to 16th sts, where ample connections have been made with the adjoining street system, the assessed value is 79% greater than from West 11th to 12th st and between West 22d and West 23d sts 233% greater. Thus proving, beyond any question of doubt, that accessibility is one of the chief factors to property values.

"All along the Ninth Ward and along 6th and 7th avs, it would have been found that there are many blocks assessed

only from one-half to two-thirds and some very much less than the block from 11th to 12th st. This, however, is not surprising when you consider that it is possible to go from City Hall to 72d st (by Subway) quicker than to Varick and Bleecker sts and to 145th st in less time than it is required to go to 14th st and 7th av, 5½ miles shorter distance.

"Such conditions are an injustice to the downtown property owners, who, instead of being a beneficiary in the growth of population and improvements, remains in statu quo. True, 7th av has been promised a subway and the old Board of Rapid Transit got so far as to get a right of way. Such a line will be shorter and easier to build, besides the difference in the cost over the lines laid out properly via Washington sq and West Broadway would amount to three times the cost of widening Varick st from Canal to Franklin sts."

The following is the petition presented to the Board of Estimate and Apportionment:

Greeting:

Your petitioners citizens, property owners and taxpayers, respectfully represent: that they are unalterably opposed to the widening of Carmine st as a substitute to their petition for the extension of 6th av, to the intersection of Broome and Varick sts; also, the holding back of the widening of Varick st at Canal st.

Respectfully submitted,

Signed,

Rhineland Real Estate Co., Buscemi Building & Construction, The Butterick Publishing Co., Ltd.; Fulton Bag & Cotton Mills, Jas. C. Kuhn, Thos. H. Van Tine, Charles Percival, E. A. G. Interman, Hon. Jefferson M. Levy, Henry C. Lytton, William J. Innes, George Karsch, Estate of S. B. H. Judah, Estate of John J. Worden, O. O. Bigelow, M. J. Calahan, Lambert Suydam, Montgomery Hare, City Real Estate Co., Street & Smith, The Schaefer Brewing Co., George Ehret, Robert J. Hoguet, Judge C. M. Hough, Estate of Peter A. Hegeman, H. H. Commann, Comptroller Trinity Corporation; John J. Harrington, S. G. Cook, President West Side Savings Bank, James Quinlan, President Greenwich Savings Bank, Alfred J. Cammayer, Morris A. Eiseman, Consolidated Dental Mfg. Co., B. M. Kracht, The Weber Piano Co., Hotel Navarre and Importation Co., Hotel York, John Hayes, Estate Walden Pell, Clifford M. DeMott, William E. Powers, Hugh Slevin, Rebecca Cahn, William C. Steger, Trustee J. C. Lyons Building & Operating Co.; Estate of J. Bookman, Anna L. Daly, by Daniel Daly, attorney; Estate Solomon Rich, C. C. Hickok.

## The Subway Balance.

### A DEFINITE ANNOUNCEMENT.

While it is assumed that it is the particular duty and business of the Commission to build on all the subway routes that have been legally adopted as speedily as it is possible to make financial arrangements for them, an official utterance definite in respect to time and place would be appropriate at this juncture, seeing that there have been so many disappointments in the past, and that so much is at stake.—Record and Guide, Nov. 23.

Chairman Willcox announced last Saturday that the Commission had decided definitely upon the construction of the so-called tri-borough subway, the north end of which will be in Pelham Bay Park, and the south end on Coney Island.

The general scheme is to build a new subway on the East Side of Manhattan, to connect with the Fourth av line in Brooklyn, by way of the Manhattan Bridge, and so to have a through route from Pelham Bay Park to Coney Island.

### Commercial Precedents.

Charles Putzel, from his long and varied commercial-legal experience, has just completed this (his third book) which exceeds his others in importance and value, in that the number of cases discussed is greater and the range of material all new, covering the entire commercial legal field. Mr. Putzel, from his legal and literary training, is eminently well fitted to edit a book of this general and useful character. This book, from its every-day usage of commerce, makes it an essential one of reference for every man in business and applicable to all of the States throughout the Union. It presents the subject matter to the merchant, the banker, the manufacturer, the importer, trustee or man of business in a particularly clear and happy manner.

Mr. Putzel has been in active practice of the law since 1878, and has his office in 299 Broadway, New York City. In 1876 he graduated from the College of the City of New York, and in 1878 from Columbia College Law School. He studied law with Luther R. Marsh (partner of Daniel Webster).

Mr. Putzel identified himself with the subject of public education and for five years was chairman of the School Board of his district and for six years was a trustee of his alma mater, the College of the City of New York. He is a Tax Commissioner for Greater New York, being appointed by Mayor George B. McClellan on January 1st, 1906. In 1881 and in 1887 he edited books on commercial law for the American Publishing Company and the New York Journal of Commerce.

## Borough of Queens and the Belmont Tunnel.

To the Editor of the Record and Guide.

Referring to the articles appearing in the public press, following the public hearing on the Belmont tunnel, held before the Public Service Commission, on November 14th, many of which appear to convey the idea that the citizens of Queens Borough were particularly desirous of securing the opening of the Belmont tunnel for traffic purposes, regardless of the charges to be made for service, I beg to advise you that I am mailing you, herewith, a copy of the resolution which was adopted at a meeting held in Jamaica, previous to this public hearing before the Public Service Commission, and am likewise attaching thereto the names of the civic organizations which attended this meeting, showing the names of those voting for the resolution and the one voting against it. You will notice that out of thirty-three organizations voting on the question, thirty-two voted in favor of the resolution.

By a perusal of the resolution, you will readily see that it is far from the feeling of the citizens of Queens that this tunnel be opened except on terms that will be recognized as advantageous to the Borough of Queens. The sentiment is almost universal in the borough, that it would be preferable to the interest of the borough that the tunnel remain closed and inoperative, rather than it be opened on other conditions than those set forth in the resolution adopted.

We are likewise mailing you herewith a copy of a brief, covering the subject, prepared by an attorney employed by these civic organizations, which brief sets forth more in detail than the resolution itself, the reasons for the position taken by the citizens of Queens Borough.

The articles published in the various papers of the city, following this public hearing before the Board, were, in many instances, quite misleading as to the actual sentiments of the Borough of Queens.

I am taking the privilege of mailing you copies of this resolution and other information, so that you may know definitely just what the conditions are as regards the sentiments of the people in Queens Borough. If you should see fit to give any publicity to the matter presented herein, we would feel grateful.

Yours very truly,

REAL ESTATE EXCHANGE OF LONG ISLAND.

(By order of the Board of Directors, K. A. Wilson, Assistant Secretary.)

## LAW DEPARTMENT

### No Lien Law for Brokers.

To the Editor of the Record and Guide:

Following is an interesting point in regard to brokers' commissions, and the right of a broker to withhold a deposit, with the buyer's consent, until the owner or seller gives him some assurance that she will surely pay him his commission before the title passes.

A broker procures a buyer for a tenement, able, willing and ready to buy, on the terms given the broker by the owner. The buyer takes the contract to be signed by herself, to have her attorney look the contract over before she signs it. She delayed taking it to her attorney for about a month. Her attorney draws new contracts and leaves out the fact that the broker is entitled to his commission on the sale. The broker had a postal card from the owner stating that she was willing to sell at the price offered by the buyer.

The broker said that he wanted something in writing to show that the owner would pay him his commission on or before the closing of title. She refused to do so, and the broker did not give her the deposit. She left her lawyer's office without signing her contract, and would not accept the one signed by the buyer. The broker commenced suit for his commission. Before the trial of the case the defending owner or defendant tried several times to settle the matter, on one condition, and that was that the buyer pay for fire escapes that the seller had erected on the premises since the suit was started. The buyer refused. The case came to trial in the Sixth District Municipal Court. The broker and the buyer having given their sworn testimony the Judge ruled that inasmuch as the broker had demanded his commission, or else a letter stating that the seller must pay him his commission before he turned the deposit and the contract signed by the buyer over to the seller, it made his commission a part of the contract, which the seller would not agree to, therefore the broker had not earned his commission.

Has not a broker a right to protect himself where he mistrusts the seller's intentions, and believes that if the title closed without his receiving his commission, and he sued, even though getting a judgment, that the judgment will never be paid? I have always been under the impression, having read decisions many times, that a broker's commission is earned when he gets a buyer able, ready and willing to buy, still ready to buy, and he is authorized by the seller to sell at the price agreed on, and that his brokerage is due at the time of signing the contract, and he does not have to wait until title closes to demand his commission unless mutually agreed upon previous to the sign-

ing by the buyer. Is the Judge's point well taken, or is he wrong in dismissing the case before the defendant gives her testimony? Of course, I know that the defendant does not need to testify if her attorney rests his case, and moves for dismissal and it is dismissed by the Judge. Has a broker no right to secure himself against fraud where he suspects it will be practiced?

Your opinion as to the decision and rights of the broker will be appreciated and read by the thousands of real estate men and owners, readers and subscribers to your paper.

Trusting that you will kindly answer this and give your opinion in an early issue of your paper, I remain,

REAL ESTATE BROKER.

Answer.—The Judge's point is well taken. The broker has no lien on the first payment. He can only protect himself as others do by declining to do business with persons whom he cannot trust. He has no lien law to protect him. The commissions are due, of course, when the contract and purchaser are satisfactory to his principal, but we know of no arbitrary right on the part of the broker to deduct them on the spot, though frequently done.

### A BANKING QUESTION.

To the Editor of the Record and Guide:

A deposits with a certain trust company a note for \$1,000 payable at an out-of-town bank. This trust company enters the note in A's pass book (for collection). The note is paid at maturity to the trust company's clearing-house agent two days after the trust company and the National Bank that clears for the trust company suspend. The receiver for the trust company refuses to credit this collection in A's pass book, because they have not yet received it. A has no means of reaching the National Bank, as they hold all collections made through them for the trust company against an indebtedness of the trust company to them. What are the legal rights of A?

Answer.—We think that the entry of the note in the pass book for collection is sufficient to make the bank responsible as a trustee to collect. The bank has received the money by a credit and the money becomes the debt of the bank to its depositor and is to be treated by the receiver as all the debts of the bank are treated, the depositor to be paid his debt in full or proportionally as the other debts are paid, and as the assets of the bank in the hands of the receiver will pay.

See also chapter 148, of laws of 1902, making it a felony for an officer, agent, teller or clerk of a bank to receive a deposit, knowing the bank to be insolvent. This chapter is an amendment of Section 601 of the Penal Code. We believe that in respect to the Penal Code a trust company must be considered a bank and its officers, agents, tellers or clerks must be held subject to the same penalties as if acting for a bank.

See also Section 162 of Banking Law (Chapter 689, Laws of 1892) which makes stockholders of a trust company individually responsible equally and rateably for the debts of the trust company to an amount equal to the par value of the stock held by the stockholders.

### A Worthless Check.

To the Editor of the Record and Guide:

I received, as payment from a man, his check on the Corn Exchange Bank. I put it through, and it came back marked "N. G." It has been learned that this man has no account at said bank or at any bank. How can I proceed? Is this act punishable by law. If so, to what extent?

Answer.—You can either sue for the money and interest and disbursements, or, if you have parted with money or property, you may proceed criminally against the maker of the check. (See Section 529 of the Penal Code.)

### Tax Assessors' Rules.

The Board of Tax Commissioners has made the announcement that in its assessment work "when lots are longer or shorter than 100 ft., the value is to be determined by the Neill or Hoffman rule, and the Neill table is to be used to determine the value of a narrow lot of irregular depth when the lot unit of value has been employed."

### Quotations: Real Estate and Building Corporations.

(Corrected by Herrick, Hicks & Colby, 7 Wall st.)

	Int. rate.	Int. period.	Bid.	Asked.
Alliance Realty Co.....	8	Q-J	90	100
Bond Mortgage Guarantee Co.....	12	Q-F	250	300
Century Realty Co.....	10	A & O	160	190
City Investing Co.....	6	M & N	55	65
Hudson Realty.....	8	Q-J	100	110
Lawyers Title Ins. & Trust Co.....	12	Q-F	170	185
Lawyers Mortgage Co.....	10	Q-J	155	175
Mortgage Bond Co.....	4	Q-J	75	90
N. Y. Mortgage & Security Co.....	10	Q-J	125	150
Realty Associates.....	8	A & O	102	106
Title Guarantee & Trust Co.....	16	Q-J	340	355
Title Ins. Co. of N. Y.....	7	A & O	100	125
Thompson-Starrett Co., common.....	8	J & J	..	..
Thompson-Starrett Co., preferred.....	8	M & N	..	..
U. S. Mortgage & Trust Co.....	24	Q-J	275	350
U. S. Title Guaranty & Indemnity Co..	6	J & J	..	85
Westchester & Bronx Title & Mortgage Guarantee Co.....	5	J & J	..	150

## Public Works.

**BRONX RIVER AV.**—Laying out and fixing grade from Eteley av to Metcalf av. Board of Estimate will consider proposed change Dec. 20.

**PATTERSON AV.**—Laying out and fixing grade from Commonwealth av to St. Lawrence av. Board of Estimate will consider proposed change Dec. 20.

**LACOMBE AV.**—Laying out and fixing grade from pier and bulkhead line of Bronx River to St. Lawrence av, and from Castle Hill av to bulkhead line of Westchester Creek. Board of Estimate will consider proposed change Dec. 20.

**METCALF AV.**—Laying out and fixing grade from Bronx River av to East 177th st. Board of Estimate will consider proposed change Dec. 20.

**RANDALL AV.**—Laying out and fixing grade from pier and bulkhead line of Bronx River to Leland av, and from Havemeyer av to bulkhead line of Westchester Creek. Board of Estimate will consider proposed change Dec. 20.

**COMMONWEALTH AV.**—Laying out and fixing grade from Lacombe av to Ludlow av. Board of Estimate will consider proposed change Dec. 20.

**TAYLOR AV.**—Laying out and fixing grade from Lacombe av to Ludlow av. Board of Estimate will consider proposed change Dec. 20.

**GRAND AV.**—Opening and extending from Tremont av to Fordham road; Aqueduct av East, from West 180th st to West 184th st and West 180th st, from Davidson av to Aqueduct av. Proposed area of assessment to be considered by the Board of Estimate on Dec. 20th, begins:

First—Beginning at a point on the southerly line of West 181st st, at its intersection with the easterly line of Aqueduct av, and running thence eastwardly along the southerly line of West 181st st to a point distant 105 ft. westerly from the westerly line of Harrison av, the said distance being measured at right angles to the line of Harrison av; thence southwardly along a line parallel with Harrison av to its intersection with a line which bisects the angle formed between the southerly line of West 181st st and the northerly line of West 180th st; thence eastwardly along the said bisecting line to a point distant 100 ft. easterly from the easterly line of Harrison av, the said distance being measured at right angles to the line of Harrison av; thence northwardly along a line parallel with Harrison av to the southerly line of West 181st st; thence eastwardly along the southerly line of West 181st st to a point distant 90 ft. westerly from the westerly line of Davidson av, the said distance being measured at right angles to the line of Davidson av; thence southwardly along a line parallel with Davidson av to its intersection with the hereinbefore described bisecting line; thence eastwardly along the said bisecting line to its intersection with a line midway between Davidson av and Jerome av; thence southwardly along the said line midway between Davidson av and Jerome av to the intersection with the prolongation of a line distant 200 ft. south of and parallel with the southerly side of West 180th st, the said distance being measured at right angles to the line of West 180th st; thence westwardly along the said line distant 200 ft. south of and parallel with the southerly side of West 180th st to a point distant 90 ft. easterly from the easterly line of Grand av, the said distance being measured at right angles to the line of Grand av; thence southwardly along a line parallel with and always distant 90 ft. from the easterly line of Grand av to its intersection with the northerly line of Tremont av; thence southwardly along a straight line to the intersection of the southerly line of Tremont av with the westerly line of Davidson av; thence southwardly along the westerly line of Davidson av to its intersection with a line southerly from, parallel with, and always distant 100 ft. from the southerly line of Tremont av, the said distance being measured along a radial line; thence westwardly along the said line parallel with Tremont av to its intersection with a radial line drawn through a point on the northerly line of Tremont av where the said northerly line of Tremont av is intersected by a line westerly from, parallel with, and always distant 100 ft. from the westerly line of Grand av, the said distance being measured at right angles to the line of Grand av; thence northwardly along the said radial line to the northerly line of Tremont av; thence northwardly along the hereinbefore described line parallel with Grand av to its intersection with a line southerly from, parallel with and distant 200 ft. from the southerly line of West 180th st, the said distance being measured at right angles to the line of West 180th st; thence westwardly along the said line parallel with West 180th st to the easterly line of Aqueduct av; thence northwardly along the easterly line of Aqueduct av to the point or place of beginning.

Second—Beginning again at a point on the southerly line of West 181st st at its intersection with the easterly line of Aqueduct av, and running thence in a straight line to a point on the northerly line of West 181st st, distant 100 ft. westerly from the westerly line of Aqueduct av East, the said distance being measured at right angles to the line of Aqueduct av East; thence northwardly along a line parallel with and always distant 100 ft. from Aqueduct av East, to a point distant 100 ft. northerly from the prolongation of the northerly line of West 184th st, the said distance being measured at right angles to the line of West 184th st; thence eastwardly along a line parallel with West 184th st to a point distant 150 ft. westerly from the westerly line of Grand av as laid out immediately north of West 184th st, the said distance being measured at right angles to the line of Grand av; thence northwardly along a line parallel with and always distant 150 ft. from the westerly line of Grand av to a point distant 100 ft. northerly from the northerly line of Fordham road the said distance being measured on a radial line; thence eastwardly along a line parallel with and always distant 100 ft. from the northerly line of Fordham road to a point distant 100 ft. easterly from the easterly line of Grand av, the said distance being measured at right angles to the line of Grand av; thence southwardly along a line parallel with Grand av to its intersection with the northerly line of Fordham road; thence southwardly in a straight line to a point on the southerly line of Fordham road, distant 100 ft. easterly from the prolongation of the line of Grand av as laid out south of Fordham road, the said distance being measured at right angles to the line of Grand av; thence southwardly along a line parallel with Grand av and always distant 100 ft. therefrom, to its intersection with a line midway between Grand av and Davidson av as these streets are laid out between West 181st and West 184th sts; thence southwardly along the said line midway between Grand

av and Davidson av to the northerly line of West 181st st; thence southwardly in a straight line to a point on the southerly line of West 181st st distant 90 ft. westerly from the westerly line of Davidson av, the said distance being measured at right angles to the line of Davidson av; thence westwardly along the southerly line of West 181st st to the point or place of beginning.

**MAGENTA ST.**—Opening and extending from White Plains road to Colden av, and Bartholdi st, from White Plains road to Bronxwood av. Proposed area of assessment to be considered by the Board of Estimate on Dec. 20th begins at the point where the easterly line of White Plains road intersects the line bisecting the angle formed between the centre line of Gun Hill road and Magenta st, as laid out adjoining and immediately east of White Plains road, and running thence eastwardly along the said bisecting line to the westerly line of Colden av; thence eastwardly at right angles to Colden av a distance of 160 ft.; thence southwardly parallel with and always distant 100 ft. easterly from the easterly line of Colden av to the intersection with a line which bisects the angle formed by the intersection of the prolongation of the centre lines of Duncan st and Magenta st, as these streets are laid out adjoining and immediately west of Colden av; thence westwardly along the said bisecting line between Duncan and Magenta sts to the intersection with a line 100 ft. easterly from and parallel with the easterly line of Bronxwood av, as laid out between Duncan st and the angle point north of Duncan st, the said distance being measured at right angles to the line of Bronxwood av; thence southwardly along the said line parallel with Bronxwood av to the intersection with the prolongation of a line distant 270 ft. southerly from and parallel with the southerly line of Bartholdi st, the said distance being measured at right angles to the line of Bartholdi st; thence westwardly along the said line parallel with the southerly line of Bartholdi st to the centre line of Wallace av; thence northwardly along the centre line of Wallace av to its intersection with a line distant 175 ft. southerly from and parallel with the southerly line of Bartholdi st, the said distance being measured at right angles to the line of Bartholdi st; thence westwardly along the said line parallel with the southerly line of Bartholdi st to the centre line of Holland av; thence northwardly along the centre line of Holland av to the intersection with a line distant 100 ft. southerly from and parallel with the southerly line of Bartholdi st, the said distance being measured at right angles to the line of Bartholdi st; thence westwardly along the said line parallel with the southerly line of Bartholdi st to the intersection with the centre line of Cruger av; thence southwardly along the centre line of Cruger av to the intersection with a line distant 150 ft. southerly from and parallel with the southerly line of Bartholdi st, the said distance being measured at right angles to the line of Bartholdi st; thence westwardly along the said line parallel with the southerly line of Bartholdi st to the intersection with the easterly line of White Plains road; thence westwardly at right angles to White Plains road a distance of 200 ft.; thence northwardly and parallel with the westerly line of White Plains road and always distant 100 ft. therefrom to the intersection with a perpendicular to the line of White Plains road, as laid out between Magenta st and the angle point north of Magenta st, and passing through the point of beginning; thence eastwardly along the said perpendicular to White Plains road to the point or place of beginning.

**EMMET ST.**—Sewer between Pelham av and the lands of St. John's College. Engineer reports that title to this street has not been acquired, but evidences are presented to show that it has been dedicated through a portion of the length affected by the resolution, but not for the entire distance. The matter has been referred to Borough President Haffen.

**PUBLIC PLACE.**—Bounded by Parkside pl and Webster av, and also of those portions of Parkside pl and East 207th st which have not yet been acquired by the city. Opening and extending. Approved by the Board of Estimate.

**TREMONT AV.**—Changing grade from Devoe av to Rosedale av and of intersecting sts. Approved by the Board of Estimate.

**PEARL ST.**—At a recent meeting of the Board of Local Improvements of the Bowling Green District, the matter of the proposed widening of Pearl st from State to Whitehall sts came up for discussion, but no action was taken. It has been suggested to the representative of the petitioners that application for the widening be made direct to the Board of Estimate.

**TIBBETS AND CORLEAR AVS.**—Opening. Again laid over for final action by the Local Boards on Dec. 26.

**UNNAMED ST.**—Laying out unnamed st between the lines of Westchester av and 156th st, and extending from Cauldwell to Jackson av. Petition denied by Local Boards.

## To Improve Bronx Waterways.

Sixteen representative business men of the Bronx attended the annual National Rivers and Harbors Congress, held in Washington. There are 59 miles of water front in the borough, and the annual value of the commerce of the Harlem River alone is nearly \$300,000,000. Twenty-nine years have elapsed since a general plan for the improvement of the Harlem River was decided upon by the engineers of the Federal Government. The plan as agreed to contemplated the expenditure of \$2,000,000. Up to the present \$1,350,000 has been expended. Work is practically at a standstill on the improvements of the Bronx and Hutchinson Rivers, Pelham Bay and Eastchester and Westchester Creeks.

## Condemnation Proceedings.

**MACOMB'S ROAD.**—Acquiring title from its junction with Jerome av, opposite Marcy pl, to Macomb's road, north of East 170th st. Commissioners Louis Munzinger and Hugh Donohoe will present an amended final report for confirmation to the Supreme Court on Dec. 17.

**WEST 189TH ST.**—Opening and extending from Exterior st to bulkhead line of Harlem River, as laid out July 14, 1905. Commissioners A. Bell, Robert Wallace and Jas. A. Miller, Jr., will present bill of costs and expenses to the Supreme Court on Dec. 23.

**WEST 191ST ST.**—Opening and extending from Exterior st to the bulkhead line as laid out July 14, 1905. Commissioners Ralph Hickox, Jas. Hay and Mark Lowenthal will present bill of costs and expenses to the Supreme Court on Dec. 23.

**BRONXWOOD AV.**—Acquiring title between Burke av and Gun Hill road; to Barnes av, between Williamsbridge road and Tilden st; and to Wallace av, between Williamsbridge road and Gun Hill road. Hearing will be given by Board of Estimate, Jan. 10, 1908.

**WEST 129TH ST.**—Opening and extending from Convent av to Amsterdam av. Commissioners Harold E. Nagle, Albert P. Massey and Wm. H. Wood have completed their estimate. Objections may be filed at 90-92 West Broadway. Area of assessment is bounded on the north by a line midway between West 129th and West 130th sts and by the prolongation thereof; on the east by a line 100 feet distant easterly from the easterly side of Convent av and parallel thereto, the said distance being measured at right angles to the line of Convent av; on the south by a line midway between West 129th and West 128th sts and by the prolongation thereof, and on the west by a line 100 feet distant westwardly from the westerly side of Amsterdam av and parallel therewith, the said distance being measured at right angles to the line of Amsterdam av.

**WEST 179TH ST.**—Acquiring title from Broadway to Haven av. Commissioners John W. Russell, Jas. J. McCormick and Thomas S. Scott will present bill of costs and expenses to Supreme Court on Dec. 24.

**APPROACHES TO BRIDGE,** over the Spuyten Duyvil and Port Morris Railroad. Acquiring title. Commissioners Wallace S. Fraser, Timothy E. Cohalan and Francis W. Pollock will present final report to Supreme Court on Dec. 17.

## Assessments.

**WICKER PL.**—Paving with asphalt blocks, curbing and re-curb, from Jansen av to Kingsbridge av. The Board of Assessors give notice that the proposed assessment for this purpose has been completed. Objections may be presented on or before Jan. 14.

**TERRACE VIEW AV., SOUTH.**—Paving with asphalt blocks, etc., from the westerly line of Jansen av to the westerly side of Kingsbridge av. The Board of Assessors have completed the proposed assessment for this purpose. Objections may be filed on or before Jan. 14.

**TERRACE VIEW AV., NORTH.**—Paving with asphalt blocks, etc., from Broadway to the westerly side of Jansen av. The Board of Assessors have completed the proposed assessment for this purpose. Objections may be filed on or before Jan. 14.

**VAN CORLEAR PL.**—Paving with asphalt blocks, etc., from a line 175 ft. west of Kingsbridge av southerly around the circle and northerly to Wicker pl. The Board of Assessors give notice that the proposed assessment for this purpose has been completed. Objections may be presented on or before Jan. 14.

**TOWNSEND AV.**—Opening from East 170th st to East 176th st. Assessment entered Dec. 10, 1907. Area of assessment includes all those lands, tenements and hereditaments and premises situate, lying and being in the Borough of the Bronx, in the City of New York, which taken together, are bounded and described as follows, viz.: On the north by the southerly side of Mount Hope pl, from the easterly side of Jerome av to the westerly side of Walton av; on the south by the northerly side of Elliot pl, from the easterly side of Jerome av to the westerly side of Walton av; on the east by the westerly side of Walton av, from the northerly side of Elliot pl to the southerly side of Mount Hope pl, and on the west by the easterly side of Jerome av, from the northerly side of Elliot pl to the southerly side of Mount Hope pl. Payable within 60 days to the Collector of Assessments and Arrears.

## Steam Pounding.

One of the chief annoyances with which owners of flat property frequently contend results from pounding or water hammering in the piping system of a steam heating plant caused by traps or depressions in which water of condensation accumulates, through which steam is compelled to force its way. This may be obviated by properly grading all pipes and dripping by means of a small nipple or other connection, all places in the system where traps occur. If when running a branch from a main to a riser the proper fall cannot be given to the branch, it should be dripped by immediate connection into the regular water return.

## Mail Delivered to Apartments by Electric Carrier.

A device for the automatic delivery of mail to occupants of apartment houses is now in successful use. It consists of a vertical well, about 18 inches square, containing an elevating and lowering apparatus, which carries up and down a steel tray with small metal boxes. One of the chief features of the apparatus is that it works automatically, making no mistakes. As the postman enters the vestibule he deposits the mail in an automatic carrier, to which he keeps the key. After placing the matter in the proper receptacle he closes the door, which starts the electric carrier. By a simple operation the boxes are dropped off the carrier at the apartments to which they belong, and at the same time the contents are automatically deposited in a locked letter-box inside the apartment.

The carrier proceeds on its upward course until it reaches the top of the building, when it immediately descends, picking up the empty boxes as it passes.

The power necessary to operate the mechanism is slight. The device was recently approved by the Postmaster-General. The shaft mentioned, including the carrier, may be seen in operation at "The Courtenay," on Central Park West, Manhattan.

## A Convenient Privilege.

Property owners in the Bronx will be interested to know that arrangements have lately been made by the Central and Northern Union Gas Companies with the American Express Company whereby bills for gas consumed and appliances purchased may be paid at the branch offices of the American Express Company, located throughout that borough. For this convenience a small fee will be exacted by the express company. The new arrangement will not interfere with consumers making payments at the gas company's office or to its regular force of authorized collectors. The convenience of the privilege mentioned will doubtless be appreciated by property owners and others residing in the outlying sections of the Bronx. It will be recalled that the branch agencies of the express company are located generally in drug stores. It is understood that the plan adopted has met with success in Chicago and other large cities. The arrangement went into effect during the week.

## Adjacent Property Owners to Bear the Expense.

In spite of the fact that the Local Improvement Board of Morrisania recommended that the whole expense of acquiring title to the triangle made by the junction of Parkside pl and Webster av, from 207th st to a point nearly opposite 209th st, be borne by the city, the Board of Estimate has concluded to assess the whole expense upon property owners adjacent to the property to be taken, chiefly because of the fact that the improvement is said to be of only local value. It will be remembered that in laying out Parkside pl, so as to give 208th st an outlet to Webster av, a narrow ledge of rock was untouched between that thoroughfare and 208th st. The triangle is much too narrow to permit the erection of a building, since its maximum width is only about forty feet. The market value of the parcel will be determined by a commission in condemnation. The assessed value of the strip is \$6,700.

## Few Voluntary Auctions.

In canvassing the real estate situation in Brooklyn a student of conditions in that borough called attention to the small number of voluntary auction sales which are taking place. In this respect he said that it is perhaps significant that no owners are conducting sales of this nature. Such auction sales as are being held he argued are the results of foreclosure proceedings and that plaintiffs do most of the bidding and buying. He further maintained that syndicates and private individuals, speculators as well as investors, are looking for bargains in the market these days and that they are not willing to pay market prices with money so scarce.

## Bricklayers' Agreement.

After conferences lasting more than a month the trade arbitration board of the Mason Builders' Association and the bricklayers reached an agreement by which the wages and conditions under the agreement which expires at the end of this year will continue for another year. There are about a dozen other building trade unions whose trade agreements expire at the end of this year, but this is the first trade to make a new agreement so far, and the result is looked on as an indication of the policy which will be pursued by the trade associations of employers in the Building Trades Employers' Association. About one-half of the bricklayers are idle at present, but the employers, in return for continuing the wages of 70 cents an hour, with double wages for overtime and Sunday and holiday work, will have the privilege of selecting the best men for any work they may have. It is believed that a similar arrangement will be made with the other trades.

## For Tri-Borough Rapid Transit.

To avoid any delay in passing upon the Bronx end of the tri-borough rapid transit route when the matter comes before the Public Service Commission for consideration, the Improvement Boards in Bronx Borough will request the New York Board of Estimate and Apportionment at its next meeting to have the city take title not later than April 1 to the land needed for the extension of Westchester av, from the centre of Westchester Village to Pelham Bay Park.

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NOTICE TO PROPERTY OWNERS.  
HEARINGS FOR THE COMING WEEK.At 90-92 West Broadway.  
Monday, Dec. 16.

Bronx Park addition, at 10 a. m.  
Public park, Southern Boulevard, Pelham av.  
Crotona av., at 2 p. m.  
Freeman st., widening, from Stebbins av to In-  
tervale av., at 3 p. m.  
Thayer st., opening, from Broadway to Nagle av.,  
at 11 a. m.  
Tremont av., opening, from Eastern Boulevard to  
Fort Schuyler rd., at 11 a. m.  
Gun Hill rd., widening, from Webster av to  
Elliott av., at 12 m.  
Strip of land at Boulevard Lafayette, at 4 p. m.  
Lane av., &c., opening, between Westchester av  
and West Farms rd., at 11 a. m.  
Clason Point rd., opening, from Westchester av  
to East River, at 2 p. m.

Tuesday, Dec. 17.

Boston rd., opening, from Bronx Park to White  
Plains rd., at 10 a. m.  
Northern av., opening, north of West 181st st., at  
4 p. m.  
Hull av., Perry av., &c., opening, at 3.45 p. m.  
Baker av., opening, from Baychester av to city  
line, at 2 p. m.

Wednesday, Dec. 18.

East 222d st., opening, from 7th av to Hutchin-  
son River, at 3 p. m.  
Third av., widening, at 159th st., at 2 p. m.

Thursday, Dec. 19.

West 167th st., public place, &c., at 3.50 p. m.  
Corlears Hook Park, addition, at 4 p. m.  
Fifth new street north of West 181st st., open-  
ing, at 3 p. m.  
Bronx Boulevard, opening, from Old Boston rd  
to 242d st., at 3 p. m.  
Two public parks east of Boulevard Lafayette,  
at 4 p. m.

Friday, Dec. 20.

Charles av., Richmond, opening, from Richmond  
av to St Nicholas av., at 3 p. m.  
Joseph Rodman Drake Park, at 1 p. m.

At 258 Broadway.

Monday, Dec. 16.

Piers 32 and 33, at 2 p. m.  
Bridge 3, Section 3, at 2 p. m.  
Caroline st., public bath, at 2 p. m.  
Bridge 4, No 2 (Queens), at 3 p. m.  
Grafton av. (executive), at 3 p. m.

Tuesday, Dec. 17.

Brooklyn Bridge, at 10.30 a. m.  
Westchester av., rapid transit, at 11 a. m.  
Willard Parker Hospital, at 2 p. m.  
Fort George, rapid transit, at 3 p. m.  
Pleasant av., school site, at 4 p. m.

Wednesday, Dec. 18.

East 12th st., school site, at 10.30 a. m.  
20th and 21st sts., school site, at 1 p. m.  
Hamilton pl., school site, at 1 p. m.  
Pier 51, East River, at 2.30 p. m.

Thursday, Dec. 19.

Pier 36, East River, at 10.30 a. m.  
Brooklyn Bridge, at 2 p. m.

Friday, Dec. 20.

Westchester av., rapid transit, at 11 a. m.  
Clinton st., school site, at 11 a. m.  
Hamilton pl., school site, at 1 p. m.

## AUCTION SALES OF THE WEEK.

The following is the complete list of the prop-  
erty sold, withdrawn or adjourned during week  
ending Dec. 13, 1907, at the New York Real  
Estate Salesroom, 14 and 16 Vesey St. Except  
where otherwise stated, the properties offered  
were in foreclosure. Adjournment of legal sales  
to next week are noted under Advertisements Legal  
Sales.

\*Indicates that the property described was bid  
in for the plaintiff's account.

JOSEPH P. DAY.

\*Austin pl., e s, 132.2 n 144th st., runs n 502.1  
x e 120.9 x s 519.8 x w 3.2 x s 56.7 x w 70.3  
to beg., vacant. (Amt due, \$12,784.75; taxes,  
&c., \$291.75.) Rosetta Jonson. \$12,000  
\*Whitlock av., w s, 120.7 n 144th st., 496.9x  
136.10x419.8x134.4, vacant. (Amt due, \$15,-  
374.50; taxes, &c., \$292.52.) Rosetta Jonson.  
14,000  
21st st., No 58, s s, 146 e 6th av., runs e 23.10  
x s 60 x e .03 x s 40 x w 23.3 x n e — x w —  
x n 100 to beg., 4-sty brk buildings and store.  
(Amt due, \$11,148.98; taxes, &c., \$1,659.83.)  
Louis H. Herman. 58,100  
Austin pl., w s, 120.7 s 147th st., 61.5x88.8x  
109.7, gore, vacant. (Amt due, \$—; taxes,  
&c., \$—.) Estella Smith. 1,025  
Austin pl., w s, 182 s 147th st., 50x100, vacant.  
(Amt due, \$—; taxes, &c., \$—.) F M Hill.  
1,425

Austin pl., w s, 432 s 147th st., 25x100, vacant.  
x100, vacant. (Amt due, \$—; taxes, &c., \$—.)  
Mrs E Quinlan. 3,400  
Austin pl., w s, 332 s 147th st., 50x100, vacant.  
(Amt due, \$—; taxes, &c., \$—.) F M Hill.  
1,700  
Austin pl., w s, 382 s 147th st., 50x100, vacant.  
(Amt due, \$—; taxes, &c., \$—.) Wm G  
Schapp. 1,750  
Austin pl., w s, 432 s 147th st., 25x100, vacant.  
(Amt due, \$—; taxes, &c., \$—.) R Piz-  
zuteillo. 875  
Austin pl., w s, 457 s 147th st., 50x100, vacant.  
(Amt due, \$—; taxes, &c., \$—.) M S & J  
Goodstein. 2,300  
Austin pl., w s, 72.8 n 144th st., 175x71x irreg  
x100, vacant. (Amt due, \$—; taxes, &c., \$—.)  
R Pizzuteillo. 6,750  
Lenox av., Nos 103 to 109 n w cor 115th st.,  
115th st., No 101 100.11x100, 6-sty brk  
tenement with stores (voluntary). Sigmund  
Wechsler, for a client. 276,000  
125th st., Nos 151 and 153, n s, 100 e 7th av.,  
50x99.11, 3-sty brk building, with store (vol-  
untary). Chas D Hilson. 179,000  
124th st., No 247, n s, 80.6 w 2d av., 28x100.11,  
5-sty brk tenement (voluntary). R V Wech-  
sler, for a client. 30,000  
Lexington av., No 28 n w cor 23d st., 50x97.6,  
23d st., Nos 131 and 133 2 and 3-sty brk build-  
ings (voluntary). Bid in at \$200,000. 200,000  
Lexington av., No 2021, s e cor 123d st., 100.11  
x35, 5-sty brk tenement with stores (volun-  
tary). Sigmund Wechsler, for a client. 81,000  
111th st., s s, 25 w Lexington av., 40x100.11,  
vacant (voluntary). Louis E Kleban. 23,450  
\*Wales av s e cor 152d st., runs s 295 to 151st  
Tinton av st, x e 200 to Tinton av, x n 45 x  
151st st w 100 x n 150 x e 100 to Tinton  
152d st av, x n 100 to 152d st, x w 200 to  
beginning, vacant. (Amt due, \$64,554.60;  
taxes, &c., \$1,972.87.) Jennie Chabot. 5,000  
54th st., No 63, n s, 95 e 6th av., 13x100.5,  
5-sty brk and stone dwelling. (Amt due, \$5,-  
507.27; taxes, &c., \$1,274.46; sub to prior  
mort of \$31,980.19.) Adj sine die. 5,000  
150th st., Nos 304 to 310, s s, 100 w 8th av.,  
100x99.11, two 6-sty brk tenements. (Amt  
due, \$8,020.39; taxes, &c., \$2,275.) Adj to  
Jan 14. 28,765  
150th st., Nos 304 and 306, s s, 100 w 8th av.,  
50x99.11, 6-sty brk tenement. (Amt due,  
\$4,957.26; taxes, &c., \$1,135.) Adj to Jan 14.  
28,765

\*138th st., n s, 250 e Lenox av., 25x99.11, vac-  
ant. (Amt due, \$8,304.48; taxes, &c.,  
\$222.31.) American Mortgage Co. 6,500  
\*138th st., n s, 350 e Lenox av., 75x99.11, vac-  
ant. (Amt due, \$24,099.18; taxes, &c.,  
\$666.93.) B Aymar Sands. 20,000  
\*138th st., n s, 275 e Lenox av., 75x99.11, vac-  
ant. (Amt due, \$24,098.37; taxes, &c.,  
\$666.93.) B Aymar Sands. 20,000  
23d st., No 318, s s, 165.7 w 8th av., 21.10x  
98.8, 4-sty stone front dwelling. (Partition.)  
John J Sweeney. 23,050  
\*2d av., Nos 1094 and 1096, e s, 60.3 s 58th  
st., 40.2x100, 6-sty brk tenement and store.  
(Amt due, \$18,759.28; taxes, &c., \$556.12.)  
Action No 1. Aaron Goodman. 61,327  
\*38th st., No 315, n s, 225 e 2d av., 25x98.9,  
6-sty brk tenement and store. (Amt due,  
\$4,469.45; taxes, &c., \$507.42.) Action No 2.  
Aaron Goodman. 28,765

BRYAN L. KENNELLY.

54th st., No 160, s s, 100 e 7th av., 18.9x100.5,  
4-sty brownstone dwelling (voluntary). E S  
Burridge. 25,750

HUGH D. SMYTH.

\*113th st., Nos 229, on map No 235, n s, 200 w  
2d av., 25x73.11, 5-sty brk tenement. (Amt  
due, \$3,810.47; taxes, &c., \$—; sub to a  
mort of \$16,000.) Adrian H Jackson. 20,265

Total. \$903,432  
Corresponding week, 1906. 519,333  
Jan. 1st, 1907, to date. 38,309,759  
Corresponding period, 1906. 30,315,832

## ADVERTISED LEGAL SALES.

Sales to be held at the Real Estate Exchange,  
14 and 16 Vesey St., except as elsewhere stated.

Dec. 14.

No Legal Sales advertised for this day.

Dec. 16.

3d av | s e cor 179th st., 100.4x109.1x102.7x  
179th st | 115.4, vacant. B Aymar Sands ef al  
trustees, &c., agt Northwestern Realty Co et al;  
Bowers & Sands, att'ys, 31 Nassau st.  
Thomas L Feitner, ref. (Amt due, \$6,607.43;  
taxes, &c., \$3,828.91.) Mort recorded Jan 23,  
1905. By J Barry Lounsbury.

105th st., No 9, n s, 175 e 5th av., 25x100, 2-sty  
frame dwelling. Eva Diamondston agt Sam-  
uel L Wallenstein et al; O'Brien, Boardman &  
Platt, att'ys, 2 Rector st; Frank E Hipple, ref.  
(Amt due, \$7,188.76; taxes, &c., \$450; sub to a  
prior mort of \$10,000.) Mort recorded Feb 6,  
1907. By Joseph P Day.

137th st., No 616, s s, 255 w Broadway, 85x  
99.11, 6-sty brk tenement. Wm R Rose agt  
Cathedral Parkway Realty Co et al; action  
No 1; Benjamin G Paskus, att'y, 128 Broad-  
way; Arthur R Walsh, ref. (Amt due, \$16,-  
470.00; taxes, &c., \$2,700; sub to five mortgages  
aggregating \$174,052.) Mort recorded Oct 22,  
1906. By Joseph P Day.  
137th st., No 622 s s, 340 w Broadway, 85x  
99.11, 6-sty brk tenement. Same agt same;  
action No 2; same att'y; same ref. (Amt due,  
\$16,486.00; taxes, &c., \$2,700; sub to five mortgages  
aggregating \$175,163.) Mort recorded Oct  
22, 1906. By Joseph P Day.  
St Nicholas av., No 1541 n w cor 187th st., 15.10  
x 80.3, No 599 | x80.3 and 4-sty stone  
front dwelling. The Germania Life Ins Co agt  
John G R Lilliendahl et al; Dulon & Roe,  
att'ys, 41 Park Row; Emmet J Murphy, ref.  
(Amt due, \$8,958.94; taxes, &c., \$320.20.) Mort  
recorded Sept 18, 1895. By Joseph P Day.  
Southern Boulevard, w s, 100 s av St John, 150  
x121. Federal Tiling & Mantel Co agt William  
Wainwright; Alfred T Davidson, att'y; Nicho-  
las J Hayes, sheriff. (Sheriff's sale of all  
right, title, &c., which William Wainwright  
had on Sept 16, 1907, or since.) By Joseph P  
Day.

Dec. 17.

175th st., No 933 | n e cor Arthur av., runs e  
Arthur av., No 1808 | 125 x n 100 x w 25 x s 25  
x w 112.4 x s 75.10, 2-sty frame dwelling and  
vacant. Geo T McQuade agt Margherita Biggio  
et al; John M Jones, att'y, 147 Nassau st;  
Edw H Maddox, ref. (Partition.) By Joseph  
P Day.

54th st., No 63, n s, 95 e 6th av., 13x100.5, 5-sty  
brk dwelling. Geo J Daniell agt The Nether-  
lands Corp of N Y et al; Baldwin & Black-  
mar, att'ys, 31 Nassau st; Paul L Kiernan,  
ref. (Amt due, \$31,980.04; taxes, &c., \$1,-  
274.46.) Mort recorded Oct 9, 1904. By Joseph  
P Day.

Madison av., Nos 706 and 708 | s w cor 63d st., 40.5  
63d st | x70, two 5-sty brk  
and stone office and store buildings. County  
Holding Co agt Caroline L Foley et al; Merrill  
& Rogers, att'ys, 31 Nassau st; Samuel Stras-  
bourger, ref. (Amt due, \$117,974.09; taxes,  
&c., \$4,262.84.) Mort recorded Feb 2, 1905.  
By Joseph P Day.

118th st., Nos 152 and 152½, on map No 152,  
s s, 67.9 e Lexington av., 25x100.11, 3-sty frame  
tenement and 2-sty frame tenement on rear.  
Adolf Mandel agt Raphael Kurzrok et al;  
Lese & Connolly, att'ys, 35 Nassau st; Richard  
H Clarke, ref. (Amt due, \$16,972.13; taxes,  
&c., \$354.24; sub to two mortgages aggregating  
\$9,000.) Mort recorded March 31, 1906. By  
Bryan L Kennelly.

136th st., n s, 100 e Brook av., 120x100, vacant.  
Jennie Weill agt Gerson M Krakower et al;  
Action No 1; Kantrowitz & Esberg, att'ys, 320  
Broadway; Edw J McGuire, ref. (Amt due,  
\$9,245.03; taxes, &c., \$446.53; sub to two prior  
morts aggregating \$18,500.) Mort recorded  
June 5, 1905. By Joseph P Day.

137th st., s s, 100 e Brook av., 120x100, vacant.  
Same agt same; Action No 2; same att'ys; same  
ref. (Amt due, \$9,397.15; taxes, &c., \$492.46;  
sub to three prior mort aggregating \$20,500.)  
Mort recorded June 5, 1905.) By Joseph P  
Day.

3d av., No 2750, e s, 112 n 145th st., 28x109.11x  
25x122.6, 2-sty frame tenement and store.  
Newman Grossman agt W J Schmidt & Co  
et al; Charles Stein, att'y, 302 Broadway;  
Terence J McManus, ref. (Amt due, \$3,776.65;  
taxes, &c., \$512.24; sub to two mort aggregat-  
ing \$14,000.) Mort recorded May 10, 1906. By  
Joseph P Day.

Amsterdam av., Nos 1260 to 1266 | n w cor 122d st.,  
122d st, No 501 | 90.11x100, two  
6-sty brk tenements and stores. The Jefferson  
Bank agt Jacob H Horwitz et al; Arnstein &  
Levy, att'ys, 128 Broadway; Terence J Mc-  
Manus, ref. (Amt due, \$22,470.32; taxes, &c.,  
\$3,759.51.) Mort recorded Aug 30, 1906. By  
Joseph P Day.

Amsterdam av., Nos 2212 to 2218 | s w cor 170th st.,  
170th st, Nos 500 to 512 | runs s 75 x w  
100 x s 20 x w 150 x n 95 x e 250 to beg, five  
5-sty brk tenements, stores on av. The Roose-  
velt Realty & Construction Co agt Barnet Miller  
et al; Saul Bernstein, att'y, 149 Broadway;  
Geo J Gillespie, ref. (Amt due, \$16,510.01;  
taxes, &c., \$3,432.70; sub to five mort aggregat-  
ing \$225,000.) Mort recorded Feb 7, 1906.  
By Joseph P Day.

108th st., Nos 315 to 337, n s, 100 w 1st av.,  
300x100.11, six 6-sty brk tenements and stores.  
Isidore Jackson et al agt Raphael Kurzrok et al;  
Action No 1; A Stern, att'y, 31 Nassau st;  
Walter B Caughlan, ref. (Amt due, \$225,-  
882.83; taxes, &c., \$6,302.10.) Mort recorded  
May 3, 1906. By Joseph P Day.

2d av., Nos 2100 and 2102 | n e cor 108th st., 50x  
108th st, No 301 | 100, 6-sty brk tenement  
and store. Same agt same; Action No 2;  
same att'y; same ref. (Amt due, \$39,456.10;  
taxes, &c., \$1,439.38.) Mort recorded May 18,  
1906. By Joseph P Day.

(Continued on page 881.)

# THE GEORGE A. JUST COMPANY

239 Vernon Ave., Boro. of Queens, New York City

## IRONWORK FOR BUILDINGS

### OFFICIAL LEGAL NOTICES

ATTENTION IS CALLED TO THE ADVERTISEMENT IN THE CITY RECORD of November 22 to December 7, 1907, of the confirmation by the Supreme Court, and the entering in the Bureau for the Collection of Assessments and Arrears, of assessment for OPENING AND ACQUIRING TITLE to the following named street in the BOROUGH OF QUEENS:

1ST WARD. LATHROP STREET—OPENING, from Broadway to Jackson Avenue. Confirmed June 12, 1907; entered November 21, 1907.

HERMAN A. METZ,  
Comptroller.  
City of New York, November 21, 1907.

ATTENTION IS CALLED TO THE ADVERTISEMENT IN THE CITY RECORD of November 22 to December 7, 1907, of the confirmation by the Supreme Court, and the entering in the Bureau for the Collection of Assessments and Arrears, of assessment for OPENING AND ACQUIRING TITLE to the following named street in the BOROUGH OF THE BRONX:

24TH WARD, ANNEXED TERRITORY. THE FIRST STREET (UNNAMED)—OPENING, east of the Bronx River, extending from Tremont Avenue to Bronx Park. Confirmed June 8, 1907; entered November 21, 1907.

HERMAN A. METZ,  
Comptroller.  
City of New York, November 21, 1907.

ATTENTION IS CALLED TO THE ADVERTISEMENT IN THE CITY RECORD of November 27 to December 12, 1907, of the confirmation by the Board of Assessors, and the entering in the Bureau for the Collection of Assessments and Arrears, of assessments for LOCAL IMPROVEMENTS in the BOROUGH OF THE BRONX:

24TH WARD, SECTION 11. VYSE AVENUE—SEWER, between Boston Road and East 177th Street. 24TH WARD, SECTIONS 11 AND 12. BURNSIDE AVENUE—REGULATING, GRADING, CURBING, FLAGGING, LAYING CROSS WALKS, BUILDING APPROACHES, AND PLACING FENCES, from Tremont to Rye Avenues. 24TH WARD, SECTION 12. VIREO AVENUE—SEWER, from East 235th to East 236th Street.

HERMAN A. METZ,  
Comptroller.  
City of New York, November 26, 1907. (39611)

ATTENTION IS CALLED TO THE ADVERTISEMENT IN THE CITY RECORD of December 6 to 20, 1907, of the confirmation by the Board of Revision of Assessments, and the entering in the Bureau for the Collection of Assessments and Arrears, of assessments for LOCAL IMPROVEMENTS in the BOROUGH OF THE BRONX:

23RD WARD, SECTION 9, SEWER IN SHERIDAN AVENUE, between East 161st and East 165th Streets; and in EAST 162ND STREET, between Sheridan Avenue and The Grand Boulevard and Concourse, and in THE GRAND BOULEVARD AND CONCOURSE, between East 161st and 163rd Streets. 24TH WARD, SECTION 11. EASTBURN AVENUE—REGULATING, GRADING, CURBING, FLAGGING, LAYING CROSS WALKS, BUILDING APPROACHES, AND PLACING FENCES, from 165th to Belmont Streets. EAST 176TH STREET—SEWER, between Arthur and Crotona Avenues. 24TH WARD, SECTION 12. EAST 196TH STREET—REGULATING, GRADING, CURBING, FLAGGING, LAYING CROSS WALKS, BUILDING APPROACHES, AND PLACING FENCES, from Jerome Avenue to Marion Avenue. THE GRAND BOULEVARD AND CONCOURSE (west side)—SEWER, between East 198th and East 196th Streets. DECATUR AVENUE AND EAST 209TH STREET—RECEIVING BASIN, at the northeast corner. BRIGGS AVENUE—REGULATING, GRADING, CURBING, FLAGGING, LAYING CROSS WALKS, BUILDING APPROACHES, AND PLACING FENCES, from Kingsbridge Road to the Southern Boulevard.

HERMAN A. METZ,  
Comptroller.  
City of New York, December 5, 1907.

ATTENTION IS CALLED TO THE ADVERTISEMENT IN THE CITY RECORD of December 6 to 20, 1907, of the confirmation by the Board of Revision of Assessments, and the entering in the Bureau for the Collection of Assessments and Arrears, of assessments for LOCAL IMPROVEMENTS in the BOROUGH OF MANHATTAN:

12TH WARD, SECTION 6, LEXINGTON AVENUE—SEWER (west side) between 123rd and 124th Streets. 12TH WARD, SECTION 8. WEST 216TH STREET—OUTLET SEWER, between Harlem River and Broadway; and 9TH AVENUE—SEWER, between 215th and 216th Streets; and WEST 215TH STREET—SEWER, between 9th Avenue and Broadway.

HERMAN A. METZ,  
Comptroller.  
City of New York, December 5, 1907.

ATTENTION IS CALLED TO THE ADVERTISEMENT IN THE CITY RECORD of December 6 to 20, 1907, of the confirmation by the Board of Revision of Assessments, and the entering in the Bureau for the Collection of Assessments and Arrears, of assessments for LOCAL IMPROVEMENTS in the BOROUGH OF QUEENS:

1ST WARD. WEBSTER AVENUE—SEWER, from 1st Avenue to William Street. 3RD WARD (WHITESTONE). 20TH STREET—SEWER, from 8th to 11th Avenues.

HERMAN A. METZ,  
Comptroller.  
City of New York, December 5, 1907.

ATTENTION IS CALLED TO THE ADVERTISEMENT IN THE CITY RECORD of November 27 to December 12, 1907, of the confirmation by the Board of Assessors, and the entering in the Bureau for the Collection of Assessments and Arrears, of assessment for LOCAL IMPROVEMENTS in the BOROUGH OF RICHMOND:

1ST WARD. RICHMOND TERRACE—CONSTRUCTING AN INTERCEPTING AND COMBINED SEWER, from Nicholas Street to Westervelt Avenue.

HERMAN A. METZ,  
Comptroller.  
City of New York, November 26, 1907. (39619)

ATTENTION IS CALLED TO THE ADVERTISEMENT IN THE CITY RECORD of December 12 to 27, 1907, of the confirmation by the Board of Assessors, and the entering in the Bureau for the Collection of Assessments and Arrears, of assessment for LOCAL IMPROVEMENTS in the BOROUGH OF RICHMOND:

1ST WARD. JEWETT AVENUE—REREGULATING, REGRADING, CURBING, RECURBING, FLAGGING, REFLAGGING, PAVING, REPAVING, from Egbert Avenue to Cherry Lane.

HERMAN A. METZ,  
Comptroller.  
City of New York, December 10, 1907.

ATTENTION IS CALLED TO THE ADVERTISEMENT IN THE CITY RECORD of December 12 to 27, 1907, of the confirmation by the Supreme Court, and the entering in the Bureau for the Collection of Assessments and Arrears, of assessment for OPENING AND ACQUIRING TITLE to the following named avenue in the BOROUGH OF THE BRONX:

23D AND 24TH WARDS, SECTION 11. TOWNSEND AVENUE—OPENING, from East 170th to East 176th Street. Confirmed November 11, 1907; entered December 10, 1907.

HERMAN A. METZ,  
Comptroller.  
City of New York, December 10, 1907.

### PROPOSALS.

Department of Health, corner of Fifty-fifth street and Sixth avenue, Borough of Manhattan, City of New York.

SEALED BIDS OR ESTIMATES will be received by the Board of Health of the Department of Health until 9:45 a. m. on

WEDNESDAY, DECEMBER 18, 1907.

For furnishing and delivering crockery, glassware, enameled ware, plated ware, etc., as required to the Willard Parker and Reception Hospitals, at the foot of East Sixteenth street, Borough of Manhattan; the Riverside Hospital, at North Brother Island, Borough of The Bronx, and the Kingston Avenue Hospital, at Kingston avenue and Fenimore street, Borough of Brooklyn, City of New York, during the year 1908.

For full particulars see City Record.

THOMAS H. DARLINGTON, M. D., President;

ALVAH H. DOTY, M. D.,

THEODORE A. BINGHAM,

Board of Health.

Dated December 5, 1907.

Main Office of the Department of Street Cleaning, Room 1403, Nos. 13 to 21 Park Row, Borough of Manhattan, The City of New York.

Department of Health, Corner of Fifty-fifth Street and Sixth Avenue, Borough of Manhattan, City of New York.

SEALED BIDS OR ESTIMATES will be received by the Board of Health of the Department of Health until 9:45 A. M. on

WEDNESDAY, DECEMBER 18, 1907.

For furnishing and delivering twelve (12) horses to the Department of Health during the year 1907.

For full particulars see City Record.

THOMAS DARLINGTON, M. D.

President.

ALVAH H. DOTY, M. D.,

THEODORE A. BINGHAM,

Board of Health.

Dated December 7, 1907. (39834)

### PROPOSALS.

SEALED BIDS OR ESTIMATES will be received by the Commissioner of Street Cleaning at the above office until 12 o'clock m. on

WEDNESDAY, DECEMBER 18, 1907,

Boroughs of Manhattan and The Bronx.

Contract for furnishing all the labor and materials required for the removal of snow and ice. For full particulars see City Record.

FOSTER CROWELL,  
Commissioner of Street Cleaning.  
Dated December 5, 1907.

Department of Water Supply, Gas and Electricity, Room 1536, Nos. 13 to 21 Park Row, Borough of Manhattan, The City of New York.

SEALED BIDS OR ESTIMATES will be received by the Commissioner of Water Supply, Gas and Electricity at the above office until 2 o'clock P. M. on

WEDNESDAY, DECEMBER 18, 1907.

Boroughs of Manhattan and The Bronx.

For furnishing, delivering and constructing Gate Vaults for the high pressure pumping stations located at Gansevoort and West streets and at Oliver and South Streets, Borough of Manhattan.

For full particulars see City Record.

JOHN H. O'BRIEN,  
Commissioner of Water Supply,  
Gas and Electricity.

The City of New York, December 3, 1907. (39827)

Department of Public Charities, foot of East Twenty-sixth street, New York.

SEALED BIDS OR ESTIMATES will be received by the Department of Public Charities at the above office until 2:30 o'clock P. M., on

MONDAY, DECEMBER 23, 1907.

For furnishing and delivering thirteen thousand (13,000) barrels of flour.

For full particulars see City Record.

ROBERT W. HEBBERD,  
Commissioner.  
The City of New York, December 10, 1907. (39869)

Department of Public Charities, foot of East Twenty-sixth street, New York.

SEALED BIDS OR ESTIMATES will be received by the Department of Public Charities at the above office until 2:30 o'clock P. M., on

THURSDAY, DECEMBER 26, 1907.

For furnishing and delivering bituminous and gas coal.

The quantities are as follows:

Boroughs of Manhattan and The Bronx.

15,000 tons bituminous coal.

900 tons gas coal.

For full particulars see City Record.

ROBERT W. HEBBERD,  
Commissioner.  
The City of New York, December 10, 1907. (39876)

Office of the Department of Parks, Zbrowski Mansion, Claremont Park, Borough of The Bronx.

SEALED BIDS WILL BE RECEIVED by the Park Commissioner at the above office of the Department of Parks until 12 o'clock M. on

MONDAY, DECEMBER 23, 1907.

For the rental of building and the privilege of selling refreshments (spirituous liquors excepted) and renting boats and skates, to be supplied by the successful bidder, at Indian Pond, in Crotona Park, for one year.

For full particulars see City Record.

JOSEPH I. BERRY,  
Commissioner of Parks, Borough  
of The Bronx. (39891)

Office of the Department of Parks, Arsenal Building, Fifth Avenue and Sixty-fourth Street, Borough of Manhattan, The City of New York.

SEALED BIDS OR ESTIMATES will be received by the Park Board at the above office of the Department of Parks until 3 o'clock P. M. on

THURSDAY, DECEMBER 26, 1907.

Borough of Brooklyn.  
For furnishing and delivering fresh beef and fish at the menagerie, Prospect Park.

For full particulars see City Record.

HENRY SMITH,

President.

JOSEPH I. BERRY,

MICHAEL J. KENNEDY,

(39884)

DEPARTMENT OF DOCKS AND FERRIES.  
Sealed bids will be received by the Commissioner of Docks at Pier A, foot of Battery Place, until 12 o'clock (noon) on Monday, December 16, 1907, for a lease of dumping board privilege on bulkhead between 94th and 95th Streets, East River. (For particulars, see City Record.)

(39850)

# Cooper Iron Works

JOHN COOPER, PROPRIETOR

Works: Emmett Street &amp; Avenue D, Newark, N. J.

New York Office: 1 Madison Avenue

# IRON and STEEL WORK

FOR

BUILDINGS, BRIDGES, &amp;c.

## PROPOSALS.

Department of Health, corner of Fifty-fifth street and Sixth avenue, Borough of Manhattan, City of New York.

SEALED BIDS OR ESTIMATES will be received by the Board of Health of the Department of Health until 9.45 A. M., on

TUESDAY, DECEMBER 24, 1907.

For furnishing and delivering meat, as required to the Willard Parker and Reception Hospitals, at the foot of East Sixteenth street; the Hospital for Contagious Eye Diseases, at the northwest corner of One Hundred and Eighteenth street and Pleasant avenue, Borough of Manhattan; the Riverside Hospital, at North Brother Island, Borough of the Bronx, and the Kingston Avenue Hospital, at Kingston avenue and Fennimore street, Borough of Brooklyn, City of New York, during the year 1908.

For full particulars see City Record.

THOMAS DARLINGTON, M. D., President;

ALVAH H. DOTY, M. D.,  
THEODORE A. BINGHAM,  
Board of Health.

Dated December 13, 1907.

Department of Health, corner of Fifty-fifth street and Sixth avenue, Borough of Manhattan, City of New York.

SEALED BIDS OR ESTIMATES will be received by the Board of Health of the Department of Health until 9.45 A. M., on

THURSDAY, DECEMBER 26, 1907.

For furnishing and delivering butter, cheese and eggs, as required, to the Willard Parker and Reception Hospitals, at the foot of East Sixteenth street, the Hospital for Contagious Eye Diseases, northwest corner of One Hundred and Eighteenth street and Pleasant avenue, Borough of Manhattan; the Riverside Hospital, at North Brother Island, Borough of the Bronx, and the Kingston Avenue Hospital, at Kingston avenue and Fennimore street, Borough of Brooklyn, the City of New York, during the year 1908.

For full particulars see City Record.

THOMAS DARLINGTON, M. D., President;

ALVAH H. DOTY, M. D.,  
THEODORE A. BINGHAM,  
Board of Health.

Dated December 13, 1907.

Department of Health, corner of Fifty-fifth street and Sixth avenue, Borough of Manhattan, City of New York.

SEALED BIDS OR ESTIMATES will be received by the Board of Health of the Department of Health until 9.45 A. M., on

TUESDAY, DECEMBER 24, 1907.

For furnishing and delivering timber, lumber, etc., to the Kingston Avenue Hospital, at Kingston avenue and Fennimore street, Borough of Brooklyn, City of New York, during the year 1908.

For full particulars see City Record.

THOMAS DARLINGTON, M. D., President;

ALVAH H. DOTY, M. D.,  
THEODORE A. BINGHAM,  
Board of Health.

Dated December 13, 1907.

Department of Health, corner of Fifty-fifth street and Sixth avenue, Borough of Manhattan, City of New York.

SEALED BIDS OR ESTIMATES will be received by the Board of Health of the Department of Health until 9.45 A. M., on

THURSDAY, DECEMBER 26, 1907.

For furnishing and delivering, as required, bread, fish, ice, mineral waters, vegetables and fruits to the Willard Parker, Reception, Riverside and Kingston Avenue Hospitals and the Hospital for Contagious Eye Diseases, and ice only to the department disinfecting stations, laboratories and office buildings of the Department of Health, City of New York, in the various Boroughs, during the year 1908.

For full particulars see City Record.

THOMAS DARLINGTON, M. D., President;

ALVAH H. DOTY, M. D.,  
THEODORE A. BINGHAM,  
Board of Health.

Dated December 13, 1907.

Main Office of the Department of Street Cleaning, Room 1403, Nos. 13 to 21 Park Row, Borough of Manhattan, the City of New York.

SEALED BIDS OR ESTIMATES will be received by the Commissioner of Street Cleaning at the above office until 12 o'clock M. on

THURSDAY, DECEMBER 26, 1907.

Borough of Brooklyn.  
Contract for furnishing and delivering forage.  
For full particulars see City Record.

FOSTER CROWELL,

Commissioner of Street Cleaning.

Dated December 11, 1907.

Main Office of the Department of Street Cleaning, Room 1403, Nos. 13 to 21 Park Row, Borough of Manhattan, the City of New York.

SEALED BIDS OR ESTIMATES will be received by the Commissioner of Street Cleaning at the above office until 12 o'clock M. on

THURSDAY, DECEMBER 26, 1907.

Boroughs of Manhattan and The Bronx.  
Contract for furnishing and delivering forage.  
For full particulars see City Record.

FOSTER CROWELL,

Commissioner of Street Cleaning.

Dated December 11, 1907.

## PROPOSALS.

Police Department of the City of New York, No. 300 Mulberry street.

SEALED BIDS OR ESTIMATES will be received by the Police Commissioner of the Police Department of the City of New York, at the Bookkeeper's office, Central Department, until 10 o'clock A. M., on

TUESDAY, DECEMBER 24, 1907.

For furnishing all the labor and materials and making and completing alterations, general repairs and improvements to the Forty-ninth, Fifty-fourth, Fifty-ninth and Sixty-second Precinct station houses in the Borough of Brooklyn, and the Seventy-fourth Precinct station house, in the Borough of Queens.

For full particulars see City Record.

THEODORE A. BINGHAM,

Police Commissioner.

Dated December 11, 1907. (39910)

Department of Health, corner of Fifty-fifth street and Sixth avenue, Borough of Manhattan, City of New York.

SEALED BIDS OR ESTIMATES will be received by the Board of Health of the Department of Health until 9.45 A. M., on

THURSDAY, DECEMBER 26, 1907.

For furnishing and delivering milk to the Willard Parker, Reception, Riverside and Kingston Avenue Hospitals and the Hospital for Contagious Eye Diseases of the Department of Health, City of New York, during the year 1908.

For full particulars see City Record.

THOMAS DARLINGTON, M. D., President;

ALVAH H. DOTY, M. D.,  
THEODORE A. BINGHAM,  
Board of Health.

Dated December 13, 1907.

Department of Health, corner of Fifty-fifth street and Sixth avenue, Borough of Manhattan, City of New York.

SEALED BIDS OR ESTIMATES will be received by the Board of Health of the Department of Health until 9.45 A. M., on

TUESDAY, DECEMBER 24, 1907.

For furnishing and delivering white ash anthracite coal, as required, to the department steamboats in their bunkers, as directed, the place for coaling to be located along their routes, between the foot of East Sixteenth street, Borough of Manhattan, and North Brother Island, Borough of the Bronx, City of New York, or at docks within a radius of two miles of the terminal points on the East River, during the year 1908.

For full particulars see City Record.

THOMAS DARLINGTON, M. D., President;

ALVAH H. DOTY, M. D.,  
THEODORE A. BINGHAM,  
Board of Health.

Dated December 13, 1907.

## PUBLIC NOTICES.

PUBLIC NOTICE IS HEREBY GIVEN to the owner or owners of all houses and lots, improved or unimproved lands affected thereby, that the following proposed assessments have been completed and are lodged in the office of the Board of Assessors for examination by all persons interested, viz.:

BOROUGH OF MANHATTAN.

List 9435, No. 1. Paving with asphalt blocks, curbing and recurburing Wicker place, from Jansen avenue to Kingsbridge avenue.

List 9436, No. 2. Paving with asphalt blocks, curbing and recurburing Van Corlear place, from a line 175 feet west of Kingsbridge avenue southerly around the circle and northerly to Wicker place.

List 9457, No. 3. Paving with asphalt blocks, curbing and recurburing Terrace View Avenue North, from Broadway to the westerly side of Jansen avenue.

List 9458, No. 4. Paving with asphalt blocks, curbing and recurburing Terrace View Avenue South, from the westerly line of Jansen avenue to the westerly side of Kingsbridge avenue.

BOROUGH OF THE BRONX.

List 9417, No. 5. Regulating, grading, curbing, flagging, laying crosswalks, building approaches and placing fences in East One Hundred and Eightieth street, from Webster avenue to the Grand Boulevard and Concourse, together with a list of awards for damages caused by a change of grade.

All persons whose interests are affected by the above-named proposed assessments, and who are opposed to the same, or either of them, are requested to present their objections, in writing, to the Secretary of the Board of Assessors, No. 320 Broadway, New York, on or before January 14, 1908, at 11 A. M., at which time and place the said objections will be heard and testimony received in reference thereto.

For full particulars see City Record.

ANTONIO ZUCCA,

PAUL WEIMANN,

JAMES H. KENNEDY,

Board of Assessors.

WILLIAM H. JASPER,  
Secretary,  
No. 320 Broadway,  
City of New York, Borough of Manhattan.  
December 12, 1907. (39899)

## ADVERTISED LEGAL SALES.

(Continued from page 979.)

1st av, Nos 2105 and 2107 n w cor 108th st, 50x 108th st, Nos 339 and 341 [100, 6-sty brk tenement and store. Same agt same; Action No 3; same att'y; same ref. (Amt due, \$34,517.70; taxes, &c, \$1,411.49.) Mort recorded Oct 12, 1906. By Joseph P Day.

120th st, Nos 235 and 237, n s, 185 w 2d av, 37.6 x 100.11, 6-sty brk tenement and store. Same agt same; Action No 5; same att'y; same ref. (Amt due, \$15,631.95; taxes, &c, \$778.99.) Mort recorded Jan 8, 1907. By Joseph P Day.

Dec. 18.

117th st, Nos 127 to 135, on map Nos 129 to 135, n s, 65 w Lexington av, 75x100.11, two 6-sty brk tenements and stores. Isidore Jackson et al agt Raphael Kurzrok; Action No 4; A Stern, att'y, 31 Nassau; Walter B Caughlan, ref. (Amt due, \$39,532.64; taxes, &c, \$2,037.14.) Mort recorded Nov 14, 1906. By Samuel Goldstick.

73d st, Nos 503 to 513, n s, 98 e Av A, 150x102.2, four 6-sty brk tenements and stores. Ruben Rubenstein et al agt Frank Messer et al; Myers & Schwarsenski, att'ys, 299 Broadway; S L H Ward, ref. (Amt due, \$22,192.45; taxes, &c, \$539; sub to eight mortgages aggregating \$137,412.41.) Mort recorded Jan 12, 1907. By Joseph P Day.

Webster av, e s, 50 s Anna pl, 75x90, vacant. Moses Hochster et al agt Samuel Swerling et al; Weil, Wolf & Kramer, att'ys, 68 William st; Irving Washburn, ref. (Amt due, \$4,438.30; taxes, &c, \$890.99; sub to a prior mort of \$8,324.67.) Mort recorded Jan. 13, 1906. By Hugh D Smyth.

Webster av, e s, 125 s Anna pl, 50x90, vacant. David F Meyer agt Samuel Swerling et al; Weil, Wolf & Kramer, att'ys, 68 William st; Wm O Badger, Jr, ref. (Amt due, \$4,435.75; taxes, &c, \$890.99; sub to two prior mortgages aggregating \$7,326.47.) Mort recorded Jan. 13, 1906. By Hugh D Smyth.

8th st, n s, 205 w Av D, 33.4x108, Unionport. 8th st, n s, 238 w Av D, 33.4x108, same map. 2d av (late 1st av), e s, 100 s 216th st (late 2d st), 45x100.

Julianna st, n s, 95 e Duncomb av, 30x100. Tacoma st, n s, 100 e St Lawrence av, 25x100. Sarah J Gedney agt Andrew Purdy et al; Griffin & Young, att'ys, Ossining, N Y; James G Graham, ref. (Partition.) By Joseph P Day.

Dec. 19.

Division st, No 265, s s, 107.2 w Gouverneur st, 20.6x42.7, 3-sty brk tenement. Frederick Herrmann agt David Silberstein et al; Edward Herrmann, att'y, 261 Broadway; John J Lenehan, ref. (Amt due, \$1,474.86; taxes, &c, \$127.79.) Mort recorded June 27, 1906. By Joseph P Day.

Lenox av, No 620 [n e cor 141st st, 99.11x150, 141st st, Nos 75 to 79] three 6-sty brk tenements, stores on av. Annie Hoffman et al agt Meyer Frank et al; Harry M Goldberg, att'y, 309 Broadway; Lawrence Cohen, ref. (Amt due, \$20,891.53; taxes, &c, \$1,930.48.) Mort recorded Oct 19, 1906. By Sam Marx.

Poplar st, n s, 763.2 e Bear Swamp rd, 50x 101.7x68.6x100. Maria Autem agt Henry Bonhagen et al; Chas P Hallock, att'y, 2087 Boston rd, Bronx; J Addison Young, ref. (Amt due, \$636; taxes, &c, \$18.) By Chas A Berrian.

39th st, Nos 110 and 112, s s, 125 w 6th av, 50x98.9, 6-sty brk tenement. Smith Ely agt Vira G Matthews et al; Smith & Simpson, att'ys, 135 Broadway; John Palmieri, ref. (Amt due, \$107,764.81; taxes, &c, \$19,000.) Mort recorded Oct 17, 1901. By Joseph P Day.

Dec. 20.

Cathedral Parkway, No 50 [s w cor Manhattan av, Manhattan av [100x72.11, 6-sty brk tenement. Realty Operating Co agt Eden Construction Co et al; Geo E Hyatt, att'y, 15 Wall st; Geo W Clune, ref. (Amt due, \$11,693.52; taxes, &c, \$4,385.62; sub to two prior mortgages aggregating \$102,713.70.) Mort recorded July 9, 1906. By Joseph P Day.

176th st (proposed), s s, 100 w Audubon av, 150 x 73x—x85, vacant. Knickerbocker Trust Co and Geo W Weill agt Amelia Cooper et al; A Lincoln Wescott, att'y, 135 Broadway; Philip J Sinnott, ref. (Amt due, \$34,541.55; taxes, &c, \$661.95.) Mort recorded June 2, 1905. By Samuel Goldstick.

Dec. 21.

No Legal Sales advertised for this day.

Dec. 23.

Barnes av [n e cor 220th st, 50x105. John J Bell 220th st [agt Jacob Wexler et al; Earley, Weaver & Earley, att'ys, 229 Broadway; Francis W Pollock, ref. (Amt due, \$2,271.25; taxes, &c, \$216.35.) Mort recorded July 2, 1906. By Joseph P Day.

Broadway [s e cor 94th st, runs s 83.3 x e 94th st, No 216/ 100 x n 30.4 x e 51.8 x n 56.3 x w 146 to beg, 7-sty brk tenement with 1-sty brk ext in st. Bradley & Currier Co agt Ada E Bingham et al; Otis & Pressinger, att'ys, 60 Wall st; Arthur Hurst, ref. (Amt due, \$12,002.70; taxes, &c, \$17,406.66; sub to a mort of \$230,000.) By Joseph P Day.

Broadway [n e cor 211th st, 133.11x50x99.11x 211th st [139.3, vacant. 211th st, n s, 150 w 10th av, 350x99.11, vacant. 10th av [n w cor 211th st, 99.11x100, vacant. 211th st]

Michael Regan agt John J Mooney et al; Daniel Daly, att'y, 40 Pine st; Edw D Dowling, ref. (Amt due, \$16,139.23; taxes, &c, \$6,499.42.) Mort recorded June 8, 1905. By Bryan L Kennelly.

# HECLA IRON WORKS

# Architectural Bronze

North 10th, 11th and 12th STREETS

AND

BROOKLYN,

NEW YORK

# IRON WORK

## REAL ESTATE RECORDS

### Key to abbreviations:

1st.—Q. C. is an abbreviation for Quit Claim deed, i. e., a deed wherein all the right, title and interest of the grantor is conveyed, omitting all covenants and warranty.

2d.—C. a. G. means a deed containing Covenant against Grantor only, in which he covenants that he hath not done any act whereby the estate conveyed may be impeached, charged or encumbered.

3d.—B. & S. is an abbreviation for Bargain and Sale deed, wherein, although the seller makes no expressed consideration, he really grants or conveys the property for a valuable consideration, and thus impliedly claims to be the owner of it.

4th.—The street and avenue numbers given in these lists are, in all cases, taken from the insurance maps when they are not mentioned in the deeds. The numbers, it will occasionally be

found, do not correspond with the existing ones, owing to there having been no official designation made of them by the Department of Public Works.

5th.—The first date is the date the deed was drawn. The second date is the date of filing same. When both dates are the same, only one is given.

6th.—The figures in each conveyance, thus, 2:482—10, denote that the property mentioned is in section 2, block 482, lot 10.

7th.—It should also be noted in section and block numbers that the instrument as filed is strictly followed.

8th.—A \$20,000—\$30,000 indicates the assessed value of the property, the first figures being for the lot only and the second figures representing both lot and building. Letter P before second figure indicates that the property is assessed as in course of construction. Valuations are from the assessment roll of 1907.

## CONVEYANCES

December 6, 7, 9, 10, 11 and 12.

### BOROUGH OF MANHATTAN.

Bleecker st, No 314 | s w cor Grove st, 20x83, 4-sty brk tenement  
Grove st, No 48 | and store.  
Bleecker st, No 308, w s, 60 s Grove st, 20x83, 4-sty brk tenement  
and store.  
Arthur R Haxtun et al to Mary B wife John Hopson, of New  
London, Conn. 1,756-7,680 parts of all right, title and interest.  
B & S. Dec 7. Dec 12, 1907. 2:588—20 and 23. A \$29,000—  
\$34,500. 7,656.12  
Same property. Myra H wife James McKown to same. 780-7,680  
parts of all right, title and interest. Dec 10. Dec 12, 1907.  
2:588. 3,927.09  
Same property. Myra R wife Henry S Harper to same. 750-  
7,680 parts of all right, title and interest. B & S. Dec 10.  
Dec 12, 1907. 2:588. 3,776.04  
Same property. Release dower. Lucy A Haxtun widow to same.  
Dec 7. Dec 12, 1907. 2:588. 1,481.09  
Bleecker st, No 308, w s, abt 60 s Grove st, —x—, 4-sty brk tenement  
and store.  
Bleecker st, No 314, s w cor Grove st, —x—, 4-sty brk tenement  
and store.  
Christopher st, No 51, n s, 177 e 4th st, 25x93.2, 3-sty brk  
stable.  
Undivided right, title and interest to 1-8 interest in Estate of  
William Haxtun dec'd. Flora L Vose et al to Lucy A Haxtun  
widow of John R Haxtun dec'd in trust, to be divided in 5 equal  
parts for benefit of Arthur R Haxtun, Harold A Haxtun, Kenneth  
G Haxtun, Edith L Haxtun and Constance Haxtun. Sept.  
30, 1896. Dec 9, 1907. 2:588—20 and 23. A \$29,000—\$34,500;  
and 610—36. A \$14,500—\$16,500. nom  
Broad st, No 94, w s, 52.11 s Stone st, 24.5x63.10x24.11x67, 5-  
sty brk loft and store building. Esther E McCord et al to  
The Mechanics National Bank of City N Y. All liens. Mar 26.  
Dec 10, 1907. 1:10—41. A \$42,200—\$49,000. nom  
Broome st, No 526½, n s, 100 s e from n e cor Sullivan st,  
20x78, with rights to alley in rear leading to Thompson st,  
2-sty brk tenement and store.  
Also all title to all estate, real or personal, of which Mary J  
Macfarlane died seized.  
Kate L Bower to Josephine A Cutler. All title. B & S. Dec  
7. Dec 10, 1907. 2:489—45. A \$11,000—\$12,000. nom  
Same property. Ella F B Scott et al to Kate L Bower. All title.  
Oct 26. Dec 10, 1907. 2:489. nom  
Cherry st, No 216, n s, 59.6 e Pike st, 25.1x117.7x24.7x118.8.  
Cherry st, No 218, n s, 84.7 e Pike st, runs n 117.7 x e 19.7 x n  
48.4 x e 17.10 x s 163.11 to st, x w 37.7 to beginning,  
two 6-sty brk tenements and stores.  
Max Wolper et al to David Jacobowitz. Mort \$108,000. Dec  
5. Dec 6, 1907. 1:255—4 and 6. A \$40,000—\$115,000.  
other consid and 100  
Cherry st, No 23, s s, abt 245 w Roosevelt st, 25.1x79.8x25.1x  
81.3, w s, 4-sty brk tenement and store.  
Cherry st, No 25, s s, abt 220 w Roosevelt st, 25x95.7, 4-sty brk  
tenement and store and 2-sty brk tenement in rear.  
Cherry st, No 29, s s, abt 175 w Roosevelt st, 12.9x84x12.11x84.  
Cherry st, No 29½, s s, abt 163 w Roosevelt st, 12.5x—x12.7x—,  
Nos 29 and 29½ on map; No 29 is a 4-sty brk tenem't and store.  
Pearl st, Nos 364 and 366, e s, 156.6 n Franklin square, runs n e  
122.1 x n 5.5 x w 110.5 to st x s 36.5 to beginning, two 4-sty  
brk tenements and stores.  
Eugenia M wife James E Campbell to Robt J Lamoreux, of  
Brooklyn. 1-9 of 1-7 part. Dec 11. Dec 12, 1907. 1:109—6, 7,  
9 and 10. A \$25,500—\$33,500; 1:112—7. A \$14,000—\$18,000.  
nom  
Christopher st, No 51, n s, 177 e 4th st, 25x93.2, 3-sty brk stable.  
Release dower. Lucy A Haxtun widow to Myra R wife Henry S  
Harper. Dec 7. Dec 12, 1907. 2:610—36. A \$14,500—\$16,500.  
612.87  
Same property. Mary B wife John Hopson to same. 2,670-7,680  
parts all title. B & S. Dec 10. Dec 12, 1907. 2:610. 5,562.49  
Same property. Myra H wife James McKown to same. 780-7,680  
parts all title. B & S. Dec 10. Dec 12, 1907. 2:610. 1,625.01  
Same property. Arthur R Haxtun et al to same. B & S. 1,756-  
7,680 parts all title. Dec 7. Dec 12, 1907. 2:610. 3,168.01  
Division st, No 115, s s, abt 85 e Pike st, 25x61, 5-sty brk tenement  
and store. Samuel Werstein to Sarah Werstein. All liens.  
Dec 7. Dec 9, 1907. 1:283—91. A \$14,000—\$24,000. nom

Forsyth st, No 199, w s, 269 s Houston st, runs w 67.2 x n 55.1  
x w — x s 85.7 x e 57.10 x n 2.6 x e 67.2 to st, x n 27.11 to be-  
ginning, 7-sty brk tenement and store. David Jacobowitz to  
Samuel Cantor, of Brooklyn, and Max Wolper, N Y. Mort \$91,-  
750. Dec 5. Dec 6, 1907. 2:422—27. A \$27,000—\$85,000.  
other consid and 100  
Greenwich st, Nos 733 and 735 | n e cor Perry st, runs n 56.6 x e  
Perry st, Nos 117 and 119 | 70 x s 26.2 to n s Perry st, x w  
85.1 to beginning, 6-sty brk tenement and store. Jacob Levy  
to David Cantow. Mort \$68,000. Dec 9, 1907. 2:633—38. A  
\$26,000—\$70,000. nom  
Gansevoort st, No 67, n s, 110.5 e Washington st, 25x80, 3-sty  
brk tenement and store. Consent to cancellation of mort, &c.  
Geo W Olivit to Mary wife and Bernard Hughes. All title. Q C.  
Aug 27. Dec 12, 1907. 2:644—63. A \$11,500—\$13,000. nom  
Same property. Consent to cancellation of mort, &c. James  
Meehan to Mary wife of and Bernard Hughes. All title. Q C.  
Aug 27. Dec 12, 1907. 2:644. nom  
Grand st, No 552, s s, abt 50 w Lewis st, 25x100, 6-sty brk tenement  
and store. Samuel Raab to Isidor Eichner. ½ part. All  
title. Mort \$45,325. Dec 9. Dec 11, 1907. 2:326—26. A  
\$18,000—\$38,000. nom  
Grand st, No 402, n s, 50 w Clinton st, 25x100, 3-sty brk tenement  
and store. Chas E Flaming to Max Fine. Mort \$19,000.  
Dec 6, 1907. 2:346—31. A \$25,000—\$30,000. 100  
Monroe st, Nos 26 and 26½, s s, 255.2 w Market st, 29.10x52x30.1x  
49.5, 6-sty brk tenement and store. Max Wolfer et al to Jacob  
Pick and Saul Levine. Correction deed. Dec 3. Dec 6, 1907.  
1:253—94. A \$10,000—\$30,000. nom  
Rivington st, No 227, s s, 50 w Willett st, 25x100, 5-sty brk tenement  
and store. Abraham and Esther Schwartz to Michael  
Noodelman. Mort \$. Dec 6. Dec 10, 1907. 2:338—17. A  
\$20,000—\$37,000. other consid and 100  
Stanton st, Nos 322 and 324 | n e cor Goerck st, 32.2x70, 5-sty  
Goerck st, Nos 120 and 122 | brk tenement and store. Davis  
Skrilow to Max Schenkman. ½ part. Mort \$38,600. Dec 5.  
Dec 7, 1907. 2:325—40. A \$18,000—\$35,000.  
other consid and 100  
Stanton st, No 171 | s e cor Clinton st, 25.4x100, two 6-sty  
Clinton st, Nos 36 and 38 | brk tenements and stores. CON-  
TRACT. Leon Pizer with John S Miller and David Podolsky.  
Morts as per agreement. May 3. Dec 6, 1907. 2:349—48. A  
\$26,000—\$50,000. Interest at 5% on \$92,500, from May 18,  
1907, to date of closing and \$97,250.  
Water st, No 614, n s, abt 75 w Gouverneur st, 26.2x64.5x26.3x  
65.6 e s, 6-sty brk tenement and store.  
Water st, No 616, n s, abt 55 w Gouverneur st, 20.6x65.11x19.10x  
65.6 w s, 6-sty brk tenement and store.  
Charles Stadler to Annie Schwartz. Mort \$40,150. Dec 6. Dec  
9, 1907. 1:259—8. A \$10,000—\$27,000. other consid and 100  
3d st E, No 416, s s, 131.1 w Tompkins st, 40.4x68x40x62.11.  
3d st E, No 418, s s, 90.9 w Tompkins st, 40.4x68x40x62.11,  
two 6-sty brk tenements.  
Samuel Strauss to Mary Abramson. 1-8 part. Nov —, 1907.  
Dec 11, 1907. 2:356—43 and 45. A \$28,000—\$67,000. nom  
Same property. Same to Benj Cohen. 1-8 part. Nov —, 1907.  
Dec 11, 1907. 2:356. nom  
12th st E, No 639, n s, 145.6 w Av C, 37.6x103.3, 6-sty brk tenement  
and store. Sigmund Morgenstern to Sigmund Blourock of  
Kings Co, N Y. 1-3 part. All liens. Nov 26. Dec 6, 1907.  
2:395—42. A \$22,000—\$60,000. nom  
15th st W, Nos 234 to 242, s's, 444.4 w 7th av, 90x103.3x91.7x  
103.3, five 3-sty brk dwellings. The Keller-Smith Co to Eliza-  
beth Smith and Katie Keller. Mort \$65,000. Dec 9, 1907. 3:-  
764—57 to 61. A \$37,500—\$45,000. other consid and 100  
15th st W, No 115, n s, abt 172 w 6th av, 25x103.3, 3-sty brk tenement  
and 3-sty brk tenement in rear. Caroline M Hill widow  
et al HEIRS, &c, Benedict B Hill to Mabel M Hill. All title  
B & S. April 12. Dec 9, 1907. 3:791—31. A \$16,000—\$20,000.  
nom  
15th st W, No 28, on map Nos 28 and 30, s s, abt 400 w 5th  
av., 25x99.2x25.8x93.4 e s, 10-sty brk and stone loft and store  
building. FORECLOS (Nov 14, 1907). Abraham L Jacobs (ref)  
to Louis L Seaman and Charles Strauss. Mort \$80,000. Dec  
10, 1907. 3:816—58. A \$40,000—\$110,000. 25,000  
15th st W, No 342, s s, 325 e 9th av, 18.9x81.3, 3-sty brk dwell-  
ing. Virginia Keahon to Frank B Flaherty. Mort \$6,000. Nov  
25, 1906. Dec 10, 1907. 3:738—63. A \$7,000—\$9,500.  
other consid and 100  
17th st W, No 414, s s, 174.7 w 9th av, 25.2x92, 3-sty brk stable.  
Sarah A Seaman to Atlantic Realty Co. Dec 10, 1907. 3:714—  
42. A \$9,500—\$14,000. other consid and 100

# WATER SUPERVISION CO.

## 3 PARK ROW, NEW YORK

Tel., 2017 Cortlandt

Send for our book "WATER TAX?"

HUDSON REALTY CO., Oct. 4, 1907.

DEAR SIR: We beg to advise that the service which you are rendering to us under various contracts is entirely satisfactory, and we regard the expenditure in connection with the supervision such as you furnish as a very good investment. In every case it has proven to us to save expense caused by wasting of water. We can recommend your company and its service very highly.

Very truly yours,  
(Signed) SAMUEL JACOBS, Treasurer.

17th st E, No 330 | s e cor Livingston pl, 53x120, 7-sty brk  
Livingston pl, No 17 | and stone tenement. Mort \$160,000.  
Valued at \$190,000. 3:922-82. A \$65,000-\$180,000.  
CONTRACT to exchange for  
1st av, Nos 1961 to 1967 | s w cor 101st st, 100.11x100, three  
101st st, Nos 338 and 340 | 6-sty brk tenements and stores.  
Valued at \$170,000. 6:1672-27. A \$38,000-\$135,000.  
Isaac Polstein with Berman Realty Co. (See 1st av, s w cor  
101st st.) May 23, 1907. Dec 12, 1907. exch  
20th st E, Nos 30 and 32, s s, 260 w 4th av, 40x92, 7-sty brk  
office and store building.  
Lexington av, No 1890, w s, 50.11 s 118th st, 16.8x55, 3-sty  
stone front dwelling.  
Henry R Gabay HEIR Gertrude A Gabay to Henry G Gabay.  
Q C. All liens. June 5. Dec 6, 1907. 3:848-53. A \$81,000  
-P \$150,000. 6:1645-57½. A \$4,500-\$7,000. nom  
21st st W, No 343, n s, abt 225 e 9th av, —x—, 3-sty brk tenem't.  
Hannah Geary to Sherman J Leary. ¼ part of all right, title  
and interest. Dec 6. Dec 7, 1907. 3:745-13. A \$11,500-  
\$14,000. nom  
21st st W, No 451, n s, 225 e 10th av, 16.8x98.8, 4-sty brk dwell-  
ing. Wm G Conklin to Sarah M Le Brantz. B & S. April 18,  
1906. Dec 9, 1907. 3:719-12. A \$7,500-\$10,500. nom  
26th st E, No 136, s s, 81 e Lexington av, 19x49.4, 3-sty brk tenement.  
Sarah Bell to Julia D Bernard. All liens. Dec 9, 1907.  
3:881-59. A \$8,000-\$11,500. nom  
28th st E, No 35, n s, 183.4 w 4th av, 20.10x98.9, 3-sty brk  
dwelling. John Knox to Mary L Knox. B & S. All liens. Dec  
10. Dec 11, 1907. 3:858-29. A \$33,000-\$37,000. nom  
32d st E, Nos 302 and 304, s s, 72 e 2d av, 28x98.9, 4-sty brk  
tenement and store and 2-sty brk tenement in rear. John Volz  
to Frank Volz. ½ part. All title. Mort \$9,000. Dec 7. Dec  
9, 1907. 3:937-65. A \$10,500-\$13,000. other consid and 100  
36th st W, No 402, s s, 65 w 9th av, 16x50, 4-sty brk tenement  
and store. Nathan Weiss and ano to Thos J Daley. Mort  
\$5,500. Nov 22. Dec 12, 1907. 3:733-40. A \$4,500-  
\$6,000. other consid and 100  
37th st W, No 10, s s, 206 w 5th av, 19.5x98.9, 5-sty brk dwell-  
ing. Josephine A Potter to Augusta C Field. Mort \$72,000.  
May 15. May 29, 1907. 3:838-57. A \$55,500-\$75,000. Cor-  
rects error in issue of June 1, when st No was 16.  
other consid and 100  
39th st E, No 303, n s, 74 e 2d av, runs n 49.4 x e 1 x n 16 x e  
25 x s 11.4 x w 0.6 x s 54 to st x w 25.6 to beginning, 5-sty  
brk tenement and store. P Henry Dugro and ano TRUSTEES  
Anthony Dugro to Salvatore Disalvo. Dec 4. Dec 6, 1907.  
3:945-6. A \$8,000-\$13,500. 19,075  
45th st E, No 342, s s, 70 w 1st av, 30x100.5, 2 and 4-sty brk bldg  
and store. FORECLOS, Nov 1, 1907. Geo W Collins ref to Jacob  
and Julius Fleischhauer. Mort \$10,000. Dec 7. Dec 9, 1907.  
5:1337-30½. A \$10,500-\$13,000. 8,150  
47th st W, No 119, n s, 600 e 7th av, 20x100.4, 4-sty stone front  
dwelling. Wm N Cohen to Robt T Oliver. Dec 9. Dec 10, 1907.  
4:1000-25. A \$33,000-\$34,000. other consid and 100  
47th st W, No 117, n s, 620 e 7th av, 20x100.5, 4-sty stone front  
dwelling. Wm N Cohen to Robt T Oliver. Dec 9. Dec 10,  
1907. 4:1000-26. A \$33,000-\$34,000. other consid and 100  
49th st E, Nos 152 and 154, s s, 100 w 3d av, 50x100.5, two 5-sty  
stone front tenements. David Lippmann et al to Whitehall  
Realty Co. ½ part. Mort \$40,000. Nov 21. Dec 10, 1907.  
5:1303-41 and 42. A \$30,000-\$56,000. other consid and 100  
Same property. Whitehall Realty Co to Maze Realty Co, all of.  
Mort \$40,000. Nov 25. Dec 10, 1907. 5:1303.  
other consid and 100  
49th st W, No 219, n s, 141.5 w Broadway, 20.8x100.5, 4-sty brk  
dwelling. PARTITION (Aug 15, 1907). Edw A Maher, Jr (ref)  
to Emma O Nimocks, of Brooklyn. Dec 11. Dec 12, 1907.  
4:1021-17. A \$26,000-\$27,000. 37,300  
49th st W, Nos 152 and 154, s s, 100 w 3d av, 50x100.5, two  
5-sty stone front tenements. Certificate that actual considera-  
tion paid in deed dated May 15, 1907, and conveyed to David  
and Harry Lippmann was \$66,000. Sub to mortgs \$40,000. Abra-  
ham Jacobi and George McAneny EXRS, &c, Jacob Meyer to  
whom it may concern. May 15. Dec 11, 1907. 5:1303-41 and  
42. A \$30,000-\$56,000.  
50th st W, No 237, n s, 220 e 8th av, 25x100.5, part 3-sty brk  
garage. Oscar T Mackey to Priscilla S Mackey. Dec 9. Dec  
11, 1907. 4:1022-10. A \$27,000-\$35,000. nom  
51st st W, No 447, n s, 280 e 10th av, 20x100.5, 3-sty stone front  
tenement. American Female Guardian Society and Home for the  
Friendless to Sarah M Le Brantz. All title. Q C. Sept 20, 1906.  
Dec 9, 1907. 4:1061-12. A \$8,000-\$12,500. 3,200  
51st st W, No 103, n s, 100 w 6th av, 25x110.7x25.6x105.6, 2-sty  
brk stable. E Cornelius Benedict to Wm H Burgess, of Oyster  
Bay, N Y. Dec 6. Dec 9, 1907. 4:1004-28. A \$30,000-\$35,-  
000. nom  
54th st W, No 74, on map No 52, s s, 97.6 e 6th av, 20x100.5, 4-sty  
stone front dwelling. Harriet G Comey to John F Comey. May  
26, 1896. Dec 11, 1907. 5:1269-70. A \$44,000-\$48,000. nom  
54th st W, No 63, n s, 95 e 6th av, 13x100.5, 5-sty brk dwelling.  
The Netherlands Corporation of N Y to Patrick J McMahon. Q  
C. Dec 9, 1907. 5:1270-5. A \$23,000-\$43,000. nom  
Same property. Caroline L Foley to same. All liens. Dec 6. Dec  
9, 1907. 5:1270.  
54th st W, No 413, n s, 200 w 9th av, 25x118.1x25.2x114.11, 4-sty  
brk tenement and store and 3-sty brk tenement in rear. Annie  
Hauck to Harry J Gough. Mort \$11,900. Dec 10. Dec 11, 1907.  
4:1064-24. A \$10,000-\$13,000. other consid and 100  
Same property. Harry J Gough to Andrew L Gardiner. Mort  
\$16,300. Dec 10. Dec 11, 1907. 4:1064. other consid and 100  
55th st E, Nos 333 to 343, n s, 161.1 w 1st av, 125.3x100.5, three  
6-sty brk tenements and stores. Nathaniel D Reich to Metro-  
politan Holding Co. C a G. Dec 9. Dec 11, 1907. 5:1348-  
16 to 19. A \$48,000-P \$75,000. nom  
65th st W, No 132, s s, 496.5 e Amsterdam av, 18x100.5, 3-sty  
stone front dwelling. Bartholomew Dunn to J Ida L Hurlbut.  
Mort \$13,000. Apr 6. Apr 10, 1907. 4:1136-45. A \$11,500-  
\$16,500. Corrects error in issue of Apr 13, when st No was 134.  
other consid and 100  
70th st E, Nos 523 to 533, n s, 65.5 w Exterior st, 150x100.4, 1-sty

frame stable and vacant. Ferdinand Marx to Margaret Mulli-  
gan. B & S and C a G. All liens. Dec 5. Dec 12, 1907.  
5:1482-16 to 21. A \$36,000-\$36,000. nom  
71st st E, No 161, n s, 300 w 3d av, 15x100, 3-sty brk dwelling.  
Chas A Cone to Geo P Messervy. Mort \$21,000. Dec 10,  
1907. 5:1406-25½. A \$12,000-\$19,000. other consid and 100  
73d st W, No 118, s s, 179 w Columbus av, 21x102.2, 4-sty and  
basement stone front dwelling. Esther E McCord et al to  
The Mechanics National Bank of the City of N Y. All liens.  
Mar 26. Dec 10, 1907. 4:1144-40. A \$14,000-\$27,000. nom  
74th st E, No 414, s s, 263 e 1st av, 25x102.2, 7-sty brk tenement  
and store. Joseph Kohen to Sylvia wife of Joseph Kohen. ½  
part. All liens. Dec 7. Dec 9, 1907. 5:1468-38. A \$8,000-  
\$32,000. nom  
76th st E, No 506 and 508, s s, 145 e Av A, 50x102.2, vacant.  
FORECLOS, Sept 27, 1907. Vincent W Woytisek ref to Saml  
Korman. Mort \$8,000. Dec 9, 1907. 5:1487-45 and 46. A  
\$11,500-\$11,500. 3,000 over mort  
80th st E, No 445, n s, 131.3 w Av A, 24.9x102.2, 5-sty brk tenement.  
A Edward Engel EXR John L Engel to Helena Engel and  
Katie Shine. Mort \$6,000. Dec 4. Dec 9, 1907. 5:1560-19.  
A \$8,000-\$15,000. 21,000  
Same property. Edward or A Edward Engel to same. B & S.  
Mort \$6,000. Dec 4. Dec 9, 1907. 5:1560. nom  
84th st E, No 417, n s, 201.6 e 1st av, 18.6x102.2, 4-sty stone  
front tenement. Helena Engel and ano to Edward or A Edward  
Engel. B & S. Mort \$6,000. Dec 4. Dec 9, 1907. 5:1564-9.  
A \$5,500-\$11,500. omitted  
Same property. A Edward Engel EXR John L Engel to same. Mt  
\$6,000. Dec 4. Dec 9, 1907. 5:1564. 13,500 ✓  
84th st E, No 150, s s, abt 140 e Lexington av, 25x100, 5-sty  
brk tenement. Helen M wife Lester M del Garcia to Irving I  
Kempner. Mort \$23,000. Dec 9. Dec 10, 1907. 5:1512-47.  
A \$13,000-\$26,000. nom  
95th st E, No 333, n s, 140 w 1st av, 35x100.5, 6-sty brk tenement  
and store. Hattie Miller et al to Lottie G Cohen. Cor-  
rection deed. Mort \$30,000. May 6. Dec 10, 1907. 5:1558-20.  
A \$10,000-\$42,000. nom  
Same property. Lottie G Cohen to James Magnus. Mort \$41,000.  
Dec 7. Dec 10, 1907. 5:1558. other consid and 100  
97th st E, Nos 335 and 337, n s, 80 w 1st av, 59.9x100.11, two  
5-sty brk tenements. Hyman and Bessie Fechter to Morris  
Faerber. Mort \$47,250. Aug 1. Dec 10, 1907. 6:1669-21  
and 22. A \$11,800-\$43,500. nom  
97th st E, Nos 68 and 70, s s, 50 w Park av, 50x100.11, 6-sty brk  
tenement and store. Release mort. Equitable Life Assurance  
Soc of the U S to Philip Leizerkowitz. Dec 9, 1907. 6:1602-40.  
A \$25,000-P \$50,000. nom  
98th st E, Nos 336 and 338, s s, 99.6 w 1st av, runs s 25.5 x w  
0.6 x s 75.5 x w 50 x n 100.11 to st x e 50.6 to beginning, 5-sty  
brk factory. FORECLOS, Sept 27, 1907. Louis B Hasbrouck  
referee to Nathan Mayer. Nov 19. Dec 11, 1907. 6:1669-31.  
A \$13,000-\$30,000. 25,950  
98th st E, Nos 336 and 338, s s, 99.6 w 1st av, runs s 25.5 x w 0.6  
x s 75.5 x w 50 x n 100.11 to st x e 50.6 to beginning, 5-sty brk  
factory. Nathan Mayer to Fannie S wife Chas E Patterson, of  
Troy, N Y. Mort \$20,000. Nov 19. Dec 11, 1907. 6:1669-31.  
A \$13,000-\$30,000. other consid and 100  
101st st E, No 217, n s, 260 e 3d av, 25x100.11, 4-sty brk tenement  
and store. Sam Diamant et al to Rosie Ray. Mort \$13,-  
750. Dec 6. Dec 7, 1907. 6:1651-11. A \$8,000-\$12,000.  
other consid and 100  
103d st E, No 101 | n e cor Park av, 16x100.11, 3-sty stone front  
Park av | dwelling. Esther Haas to Max Rosenthal,  
of Jersey City, N J. Mort \$11,300. Dec 11. Dec 12, 1907.  
6:1631-1. A \$8,000-\$9,000. other consid and 100  
105th st W, No 50, s s, 50 w Manhattan av, 18x100.11, 5-sty stone  
front tenement. James R Thomas to Chas E Foy. B & S. Mt  
\$15,000. Oct 31. Dec 9, 1907. 7:1840-53. A \$8,000-\$20,-  
000. other consid and 100  
106th st E, No 59, n s, 150 e Madison av, 25x100.11, 5-sty brk  
tenement and store. Adolph Hollander to Michael N Delagi.  
Mort \$25,000. Nov 20. Dec 6, 1907. 6:1612-27. A \$11,000-  
\$20,000. other consid and 100  
Same property. Michael N Delagi to Barbara J Jordan. Correc-  
tion deed. Mort \$26,500. Dec 5. Dec 6, 1907. 6:1612.  
other consid and 100  
113th st E, No 328, s s, 275 w 1st av, 25x100.11, 6-sty brk tenement  
and store. Louis Kovner et al to Harris Levy and Isidor  
Cohen. Mort \$26,700. Dec 4. Dec 9, 1907. 6:1684-40. A  
\$6,000-\$26,500. other consid and 100  
113th st E, No 173, n s, 103 w 3d av, 20x100.10, 3-sty stone front  
dwelling. John D Phillips et al to Jacob Schwartz. B & S.  
Mort \$2,100. Nov 27, 1868. R S \$3. Dec 10, 1907. 6:1641-  
32½. A \$7,000-\$8,500. 2,650  
114th st E, No 85, n s, 30 w Park av, 25x100.11, 5-sty brk tenement  
and store. Maurice H Oser to Joseph Barrett. ½ part.  
Mort \$23,750. Oct 18. Dec 12, 1907. 6:1620-34. A \$10,000-  
\$19,000. 100  
115th st E, Nos 167 and 167½, n s, 245 w 3d av, 25x100, two  
3-sty stone front dwellings. Jacob Hyman to Zusman Alpert, of  
Brooklyn. Mort \$16,200. Dec 5. Dec 6, 1907. 6:1643-27 and  
27½. A \$8,000-\$12,000. other consid and 100  
118th st E, Nos 216 and 218, s s, 212.11 e 3d av, 37.1x100.5, 6-  
sty brk tenement. Joseph Gluck to Nathan Lefkowitz. ½ part.  
Mort \$42,000. Dec 5. Dec 6, 1907. 6:1667-39. A \$11,000-  
\$45,000. other consid and 100  
118th st E, No 402, s s, 93.8 e 1st av, runs s 45.8 x e 0.4½ x s  
45.3 x e 15.7 x n 100.11 to st x w 14.6½ to beginning, 2-sty  
stone front dwelling. Order of court declaring judgment in  
favor of plaintiff, also that deed recorded Feb 13, 1907, fraud-  
ulent, and that property be sold by the sheriff, &c. Harry H  
Redler ADMR of William Redler plaintiff vs. David and Nettie  
Freeman defendants. Nov 14. Dec 12, 1907. 6:1711-45. A  
\$2,900-\$4,600.  
121st st E, No 362, s s, 66.8 w 1st av, 16.7x104, 3-sty brk tenement.  
Anna Kiedaisch and ano to Sol Danenberg. Mort \$7,000.  
Dec 1. Dec 9, 1907. 6:1797-31. A \$4,000-\$7,500. nom  
121st st W, No 242, s s, 408.4 w 7th av, 16.8x100.11, 3-sty and  
basement stone front dwelling.

# LENOX IRON WORKS, Inc.

HUGH J. LAWLER, Treasurer

BEAM YARD: 132d STREET, PARK TO LEXINGTON AVENUES

## STRUCTURAL STEEL AND ORNAMENTAL IRON

Office, 1959 Park Ave., CORNER 132d ST.

- 121st st, W, Nos 246 and 248, s s, 441.8 w 7th av, 33.4x100.11, two 3-sty and basement stone front dwellings.  
Anna M Martling of Ridgefield, N J, to Farmers Loan and Trust Co ADMR. &c, Stephen H Martling dec'd. C a G. Dec 4. Dec 6, 1907. 7:1926-50, 51½ and 52. A \$21,900-\$36,000. nom
- 126th st W, No 227, n s, 237.6 w 7th av, 12.6x99.11, 3-sty and basement brk dwelling. FORECLOS, Dec 3, 1907. Maurice Goodman ref to Ruth N Smith, of Patchogue, L I. Dec 6, 1907. 7:1932-22. A \$5,500-\$6,500. 7,575
- 127th st W, No 261, n s, 493 w 7th av, 16x99.11, 3-sty and basement stone front dwelling.  
Forsyth st, No 78, e s, 176 s Grand st, 25x100, 5-sty brk tenement and store.  
Solomon Wronker to Selma wife of Solomon Wronker. Q C. Dec 9, 1907. 7:1933-11½. A \$6,400-\$10,500; 1:306-9. A \$20,000-\$40,000. gift
- 129th st W, Nos 251 to 255, n s, 199 e 8th av, 76x99.10, 6-sty brk tenement. Reinhold M F Buge to Eugene McGarr. Mort \$145,000. Nov 7. Dec 12, 1907. 7:1935-9. A \$30,000-\$120,000. other consid and 100
- 129th st E, No 109, n s, 140 e Park av, 25x99.11, 4-sty brk tenement and store. Annie Goldflam to Mary O'Donnell. Mort \$12,750. Nov 19. Dec 6, 1907. 6:1778-7. A \$6,500-\$12,000. nom
- 130th st E, No 19, n s, 230 e 5th av, 16x99.11, 3-sty stone front dwelling. Mary A Troy to Anna M wife of Jacob Low. B & S. Dec 5. Dec 9, 1907. 6:1755-10. A \$5,500-\$9,500. gift
- 131st st W, No 513, n s, 150 w Amsterdam av, runs n 99.11 x w 25 x s 36.3 x e 0.2 x s 63.8 to st, x e 24.10 to beginning, vacant. Abram L Libman et al to Charles Wynne and David Reggel. Mt \$7,700 and all liens. Nov 22. Dec 6, 1907. 7:1986-26. A \$7,500-\$7,500. other consid and 100
- 133d st W, No 313, n s, 175 w 8th av, 25x99.11, 2-sty brk dwelling. Joseph T Jones to Annie Shaughnessy of Borough of Richmond. Mort \$12,000. April 12. Dec 6, 1907. 7:1959-5. A \$7,000-\$9,500. 100
- 133d st W, No 212, s s, 292 w 7th av, 26.11x99.11x27x99.11, 5-sty brk tenement. Joseph Goodman to James N Thompson. Mt \$20,000. July 15. Dec 6, 1907. 7:1938-46. A \$10,800-\$25,000. other consid and 100
- 134th st E, Nos 11 to 17, n s, 200 e 5th av, 100x99.11, four 4-sty brk tenements and stores. Jacob Levy to Maurice H Bronner. Mort \$—. Dec 5. Dec 7, 1907. 6:1759-9 to 12. A \$24,000-\$52,500. nom
- 135th st W, s s, 375 w Amsterdam av, 125x99.11, vacant. Harris Cohen et al to Rebecca Rosenblatt, of Chicago, Ill. Mort \$39,150. Dec 10. Dec 11, 1907. 7:1988-48. A \$50,000-\$50,000. other consid and 100
- 143d st W, No 536, on map No 534, s s, 100 e Broadway, 37.6x99.11, 6-sty brk tenement. Release mort. Realty Mortgage Co to Janpole & Werner Construction Co. Dec 9, 1907. 7:2074-59. A \$12,000-\$18,000. 3,000
- 147th st W, n s, 500 w 7th av, 25x99.11, 6-sty brk tenement. Fredk W White to Fleischmann Realty and Construction Co. Q C. Correction deed. Nov 19. Dec 9, 1907. 7:2033-11. A \$7,000-\$—. nom
- 147th st W, No 545, n s, 275 e Broadway, 16x99.11, 3-sty brk dwelling. Thuselnda A wife of and Augustus C Christensen to James O'Connell. Dec 6, 1907. 7:2079-13. A \$6,000-\$11,000. other consid and 100
- 149th st W, Nos 220 and 222, s s, 420 e 8th av, 40x99.11, 6-sty brk tenement. George Sprickerhoff to James C Austin. Mort \$49,975 and all liens. Nov 25. Dec 9, 1907. 7:2034-47. A \$10,500-\$46,000. other consid and 100
- 149th st W, Nos 220 and 222, s s, 420 e 8th av, 40x99.11, 6-sty brk tenement. James C Austin to Samuel Raisler. Mort \$49,000. Dec 11. Dec 12, 1907. 7:2034-47. A \$10,500-\$46,000. other consid and 100
- 169th st W | s s, 150 w Broadway, 100x180 to n s 168th st, vacant. Milton M Silverman et al to James M Buttery, of Brooklyn. ½ of all right, title and interest. B & S. All liens. Nov 30. Dec 6, 1907. 8:2138, part lot 95. nom
- Same property. Clementine M Silverman to same. ½ part of all right, title and interest. B & S. All liens. Nov 30. Dec 6, 1907. 8:2138. nom
- Same property. Chas M Rosenthal to same. ½ part of all right, title and interest. B & S and all liens. Nov 30. Dec 6, 1907. 8:2138. nom
- 171st st W, No 564, s s, 125 e St Nicholas av, late 11th av, 25x95, 2-sty frame dwelling. Elizabeth Cromarty to Philip Cromarty. Dec 12, 1907. 8:2127-10. A \$5,500-\$8,000. other consid and 100
- 176th st W (proposed), s s, 100 w Audubon av, 150x73x-x85, vacant. FORECLOS, Oct 3, 1907. Philip J Sinnott ref to Frances Wallach. Nov 18. Dec 9, 1907. 8:2133, assessed with lot 7. 34,500
- 184th st W, n s, 200 e St Nicholas av, late 11th av, 90x99.11, vacant. Arthur Berel to Harry N Baruch. 1-3 part. All title. Mort \$12,500. Dec 9. Dec 10, 1907. 8:2157-25 to 28. A \$23,000-\$23,000. nom
- Av D, Nos 49 and 51, w s, 63 s 5th st, 44x80, 6-sty brk tenement and store. Samuel Bravo to Abraham Berstein. Mort \$69,750. Nov 26. Dec 11, 1907. 2:374-37. A \$22,000-\$50,000. other consid and 100
- Av D, Nos 136 and 138, e s, 105 n 9th st, 54.2x80, two 5-sty brk tenements and stores. Louis Baraginsky to Barnett Goldfein. Mort \$54,625. Nov 25. Dec 7, 1907. 2:366-6 and 7. A \$26,000-\$50,000. nom
- Amsterdam av, No 6, w s, 50.5 n 59th st, 25x100, 5-sty brk tenement and store. Morris Simon to Meyer H Ullmann. Mort \$29,000. Dec 4. Dec 6, 1907. 4:1151-31. A \$16,000-\$28,000. other consid and 100
- Audubon av | n w cor 190th st, -x220.4x97.4 to n s 190th st 190th st | x220, 2-sty frame dwelling and 1-sty frame stable and vacant. Arthur Berel to Harry N Baruch. 1-3 part. All title. Mort \$44,000. Dec 9. Dec 10, 1907. 8:2161-75. A \$50,000-\$56,000. nom
- Audubon av, Nos 289 and 291 | s e cor 180th st, 38x95, 5-sty brk 189th st | tenement and store. Atlantic Realty Co to Sarah A Seaman. Mort \$40,000. Dec 10, 1907. 8:2152-38. A \$16,000-\$52,000. other consid and 100
- Audubon av, No 255, e s, 41.10 s 178th st, 40x100.2x46.5x100, 5-sty brk tenement. John Volz to Frank Volz. ½ part. All title. Mort \$43,000. Dec 7. Dec 9, 1907. 8:2132-26. A \$12,500-\$42,000. other consid and 100
- Broadway | s w cor 152d st, 99.11x150, 3-sty frame dwelling 152d st, No 600 | ing and vacant. Elias P Schinsky to Simon Epstein. All liens. Jan 2, 1907. Dec 12, 1907. 7:2098-33 to 37. A \$76,000-\$79,000. nom
- Columbus av, Nos 424 and 426, w s, 51.2 n 80th st, 51x100, two 2-sty brk and stone stores. Amanda L Eitzen to August Eitzen. ½ part. B & S. Mort \$35,000. Dec 6. Dec 9, 1907. 4:1211-31 and 32. A \$70,000-\$84,000. 100
- Convent av, No 329, old No 61, e s, 100 s 144th st, 20x100, 3 and 4-sty brk dwelling. Richard L Sweezy to Geo P Sweezy. Mort \$10,000. Apr 15, 1907. Dec 11, 1907. 7:2050-28. A \$6,000-\$19,000. nom
- Lexington av, No 181, e s, 20 n 31st st, 19.6x85.5, 4-sty brk dwelling. Lexington av, No 185, e s' 59 n 31st st, 19.6x85.5, 4-sty brk dwelling. Lexington av, No 183, e s, 39.6 n 31st st, 19.6x85.5, 4-sty brk dwelling. Lexington av, No 187, e s, 78.6 n 31st st, runs n 19.6 x e 100 x s 18 x w 14.7 x s 1.6 x w 85.5 to beginning, 4-sty brk dwelling. 31st st, No 137, n s, 85.5 e Lexington av, 18.6x80, 4-sty brk dwelling. Emanuel Baruch to Yosta Rosenberg. Mort \$147,500. Dec 5. Dec 9, 1907. 3:887-26 to 29 and 31. A \$79,500-\$97,500. other consid and 100
- Lexington av, No 461, e s, 20 n 45th st, runs e 65 x n 9 x e 5.6 x n 11 x w 70.6 to av x s 20 to beginning, 4-sty brk dwelling. John T Eagan to Anna M wife Thos F Eagan. All liens. Dec 9, 1907. 5:1300-22. A \$14,000-\$20,000. nom
- Madison av, No 1623, e s, 100.11 s 109th st, 16x70, 5-sty brk tenement and store. Annie Goldflam to Mary Els. Mort \$15,250. Dec 3. Dec 9, 1907. 6:1614-19. A \$8,000-\$12,500. other consid and 100
- Madison av, No 1623, e s, 100.11 s 109th st, 16x70, 5-sty brk tenement and store. Mary Els to Annie Goldflam. 1-3 part. Mort \$15,250. Dec 4. Dec 10, 1907. 6:1614-19. A \$8,000-\$12,500. other consid and 100
- Morningside av East, No 16, e s, 56.5 s 116th st, 53.10x68.3x47.8 x73.3, 6-sty brk tenement. Eugene McGarr to Eliz K Smith. Mort \$81,000. Nov 29. Dec 6, 1907. 7:1849-52. A \$27,000-\$70,000. other consid and 100
- Same property. Eliz K Smith to Rose Cohen. Mort \$81,000. Dec 4. Dec 6, 1907. 7:1849. other consid and 100
- Park av, No 1503, e s, 74 n 109th st, 26.11x80, 4-sty brk tenement. Release mort as to easement for viaduct, &c. Ella W Mills and Hoffman Miller exrs Abraham Mills to N Y & Harlem R R Co and the N Y C & H R R R Co. Oct 18. Dec 6, 1907. 6:1637-4. A \$6,000-\$8,500. nom
- St Nicholas av, e s, 25 s 180th st, 75x100, vacant. John Whalen to Stephen J Egan. Dec 2. Dec 10, 1907. 8:2153-33. A \$30,000-\$30,000. other consid and 100
- St Nicholas av | s w cor 188th st, 94.10x100, vacant. Arthur Berel 188th st | to Harry N Baruch. 1-3 part. All title. Mort \$25,500. Dec 9. Dec 10, 1907. 8:2168-15. A \$42,000-\$42,000. nom
- West Broadway, Nos 567 to 573 | n e cor 3d st, 90x50, 8-sty brk 3d st, Nos 55 and 57 | loft and store building. John B Ireland to James D Ireland. Mort \$—. Dec 2. Dec 6, 1907. 2:538-7. A \$62,000-\$145,000. nom
- West End av, No 247, w s, abt 55 n 71st st, -x-, 4 and 5-sty brk and stone dwelling. Agreement to sell as soon as \$33,000 can be procured therefor. Orson C Hoyt with Chas E Ball, Louis E Whicher and L L Chinn firm Ball & Whicher. (Secures money loaned to party 1st part for purchase of stocks.) Oct 21. Dec 10, 1907. 4:1183-31. A \$10,000-\$25,000. nom
- 1st av, Nos 1961 to 1967 | s w cor 101st st, 100.11x100, 101st st, Nos 338 and 340 | Agreement appointing party 1st part as att'y to contract for sale of above for \$158,000, sub to mort of \$149,500. (See 17th st, s e cor Livingston pl.) Isaac Polstein with Louis Livingston, Myer S Perlstein and Isaac A Samuels. Dec 11. Dec 12, 1907. 6:1672. other consid and 1,000
- 1st av, Nos 1961 to 1967 | s w cor 101st st, 100.11x100, three 101st st, Nos 338 and 340 | 6-sty brk tenements and stores. Isaac Polstein to Louis Livingston, Myer S Perlstein and Isaac Samuels. Mort \$149,500. Dec 11. Dec 12, 1907. 6:1672-27. A \$38,000-\$135,000. other consid and 100
- 1st av | s e cor 95th st, 100.8x103, vacant. William Bachrach et 95th st | al to Meyer Abramson. Mort \$30,000. Nov 12. Dec 7, 1907. 5:1574-9 to 11. A \$45,000-\$45,000. other consid and 100
- 1st av, Nos 1933 and 1935 | n w cor 99th st, 40.11x100, 6-sty brk 99th st | tenement and store. Karolina Steyskal and ano to Lulu Banford. Mort \$71,500 and all liens. Dec 10. Dec 11, 1907. 6:1671-23. A \$17,000-\$56,000. other consid and 100
- 1st av, Nos 2061 to 2065 | s w cor 107th st, 63.5x50, 6-sty brk tenement and store and 1-sty brk building in rear. Nathan Berman to Mendel Friedman. Mort \$33,000. Dec 3. Dec 7, 1907. 2:437-4. A \$16,000-\$23,000. other consid and 100
- 2d av, Nos 152 and 154, e s, 65.7 s 10th st, 44.3x125, two 4-sty stone front tenements. Ignatz H Rosenfeld to Jacob G Adelsdorfer. Mort \$37,000. Dec 11. Dec 12, 1907. 2:451-4 and 5. A \$40,000-\$56,000. other consid and 100
- 2d av, No 1917 | n w cor 99th st, 26x79, 5-sty brk tenement and 99th st | store. Max C Baum to Conde B Pallen, of New Rochelle, N Y. Mort \$29,250. Nov 22. Dec 10, 1907. 6:1649-21. A \$15,000-\$27,000. other consid and 100
- 2d av, No 1349 | n w cor 71st st, 25x64, 5-sty brk tenement and 71st st, No 261 | store. Mary A McMahon et al HEIRS Peter McMahon to Moses Kinzler and Abraham J Dworsky. Mort \$17,500. Dec 10, 1907. 5:1426-21. A \$18,000-\$27,000. nom

# REINFORCED CONCRETE For Factories and Warehouses

possesses advantages over all other forms of construction

## Turner Construction Co., 11 Broadway, N. Y. ENGINEERS AND CONTRACTORS

2d av, No 633, w s, 98.10 n 34th st, 19.8x76, 4-sty brk tenement and store. CONTRACT. Julius R Loeb and Silas Schwartz with Joseph Bachrach and Nathan Loewenstein. Mort \$14,000. Sept 15. Dec 9, 1907. 3:915-32. A \$12,500-\$16,500. 18,500  
7th av, No 363, e s, 23.3 n 30th st, 23x75, 4-sty brk tenement and store and 2-sty brk tenement in rear. Cohn-Baer-Myers & Aronson Co to Ray Weill. Mort \$46,000. Dec 4. Dec 7, 1907. 3:806-2. A \$39,000-\$42,000. other consid and 100  
8th av, Nos 2746 and 2748, s e cor 146th st, 40x100, 6-sty brk 146th st, No 260 tenement and store. James J Martin, of the Bronx, to The J S Shea Co, a corpn. Mort \$70,000. Dec 11. Dec 12, 1907. 7:2031-61. A \$23,500-P \$40,000. nom

### MISCELLANEOUS.

Appointment of Frank White, of Albany, N Y, as temporary receiver under bond of \$200,000. The People of State N Y plaintiff (by Supt of Banks, State N Y) against The Hamilton Bank of N Y City defendant. Nov 16. Dec 12, 1907.  
Exemplified copy of last will and testament of Juliet M Coleman, of Buffalo, N Y. Feb 14, 1905. Dec 11, 1907. Wills.  
Revocation of power of attorney. Ernst Leitz to Edward Davieson. Nov 14. Dec 10, 1907.

### BOROUGH OF THE BRONX.

Under this head the \* denotes that the property is located in the new Annexed District (Act of 1895).

Dawson st, Nos 761 to 767, or 155th st, n s, 120.2 w Tinton av, late Beach av, runs n 100 x w 4.10 x s w 75.5 x s 68.9 to st, x e 79.10 to beginning, four 2-sty frame dwellings. Louis Leibsohn to Isarel (?) or Israel Leibsohn. All liens. Dec 2. Dec 6, 1907. 10:2654. other consid and 100  
Faile st, No 891, w s, 200 n Seneca av, 25x100, 2-sty frame dwelling. Frederick McCarthy et al to Mary A Grief. Mort \$4,500 and all liens. Dec 6. Dec 10, 1907. 10:2761.  
Fairmount pl, n w cor Clinton av, 100x100, vacant. Jacob Gold et al to Henry S Gamp. 1-5 part. All title. Mort \$6,200. Dec 9. Dec 11, 1907. 11:2950. other consid and 100  
Hall pl, No 1068, e s, 193.1 s 167th st, 45x-x43.11x52.7, 2-sty frame dwelling and vacant. Release dower. Josephine Strackerjan widow to Frederick Cordes. Dec 12, 1907. 10:2700. 950  
Same property. Affidavit by Frederick C Steffen in matter of release of dower as above. Dec 12, 1907. 10:2700.  
A lane, s s, abt 99.2 w Nathalie av, 25x87.6, vacant. John J Brodbeck to Maurice J Buckley. All liens. Oct 30. Dec 10, 1907. 12:3257. other consid and 100  
Hoffman st, w s, 127 n 3d av, late road leading from Kingsbridge to West Farms, 50x100, except part for st, vacant. Susan wife John Hopper to Mary E Bird. Mort \$2,500 and all liens. Dec 9. Dec 10, 1907. 11:3054. 5,500  
\*Hancock st, e s, 425 s Columbus av, 25x100. Regent Realty Co to Bonfiglio Fugazza and Rosa his wife tenants by entirety. Dec 6. Dec 7, 1907. nom  
Ittner pl, s e cor River st, begins 167.10 w Park av, runs s 103.6 x w 25 to cl Old Mill brook, x n — to pl, x e 29 to beginning, vacant. E Louis Jacobs to Tremont Mills, a corpn. Dec 4. Dec 6, 1907. 11:2899. other consid and 100  
Oakland pl, No 972, s s, 100 e Crotona av, 24.6x100x23.11x100, 2-sty frame dwelling. Bernard Rolf to Ida P Rolf. Mort \$2,750. Dec 18, 1906. Dec 9, 1907. 11:3095. 4,550  
\*Seminole st, s s, adj lot 152, runs w 3 x s 25 x e 10 x n 24.8 to beginning, being part lot 151 map (No 1130) of 327 lots Hunter estate. Release mort. The Hudson P Rose Co to Thos F Storey and Ferdinand Meyer. Dec 4. Dec 7, 1907. nom  
\*Sheil st, s s, 350 w 5th av, 25x100, Laconia Park. Concettino Bertone to Maria A Locascio. Dec 10. Dec 11, 1907. other consid and 100  
\*132d st, n s, 261.2 w Av E, 229x112x210x84.11, Unionport. Mary M Henning to Jacob Blaesser. Dec 11. Dec 12, 1907. other consid and 100  
136th st, No 375 (621), n s, 206.6 w Willis av, 25x100, 5-sty brk tenement. Sigmund Fischer to Regina G wife Sigmund Fischer. 3/4 parts. All title. Mort \$21,000. Dec 2. Dec 11, 1907. 9:2299. gift  
137th st, No 634, old No 910, s s, 139.5 w Cypress av, 37.6x100, 5-sty brk tenement and store. Edw L Flasterstein to Hyman Berman. Mort \$36,000. Dec 5. Dec 9, 1907. 10:2549.  
147th st, No 540, s s, 149.6 w St Ann's av, 25x100, except part for st, 2-sty frame dwelling. Kassell Gold to Fannie Boskey. Undivided right, title and interest. Mort \$6,000. Dec 6. Dec 10, 1907. 9:2273. nom  
149th st, w s, 116.3 n Austin pl, runs n 87.2 x w 104.2 x s 50 x w 25 x s 25 x e 80.3 to beginning.  
149th st, n w cor Austin pl, runs n 58.2 x w 97.7 x n 50 x w 112.7 x s e 120.8 x e 110 to beginning.  
Chas A Yost to Lillie Y Jacka, Minnie Y Keeler and G Andrew Yost. Oct 5, 1906. Dec 11, 1907. 10:2600. other consid and 100  
169th st, No 456, s s, 115.7 w Washington av, 25x100, 4-sty brk tenement. Antonia Wenzel to Katharina Kramer. Mort \$12,000. Nov 20. Dec 9, 1907. 9:2390. other consid and 100  
170th st, s w s, 150.2 s from s e s College av, runs s e 102.5 x n e 25 x n w 101.2 to st, x n w 25 to beginning, vacant. Geo A Seib to Henrietta Schubert. Nov 27. Dec 6, 1907. 11:2783.  
\*174th st, e s, 106 s Gleason av, 50x100, Westchester. Daniel J Dillon to Timothy F Sullivan. Mort \$9,000. Dec 4. Dec 11, 1907. nom  
176th st, Nos 654 to 664/s s, 314.11 e Anthony av, runs s w 103.1 Tremont av x s e 50 x n e 25 x s e 25 x n e 50 x s e 25 x n e 121.11 to s s Tremont av x w along av and 176th st 130.10 to beginning, six 3-sty frame tenements. Anna M Smith and ano to John P Wenninger. Q C June 6, 1906. Dec 11, 1907. 11:2892. nom  
Same property. John P Wenninger to Chas A Ross. Dec 11, 1907. 11:2892. nom  
185th st, No 682, s s, 100 e Park av, 16.8x100, 2-sty frame

dwelling. Louis Scheuer to Anna wife of and Ernst Kiedaisch tenants by entirety. Mort \$2,500. Dec 1. Dec 9, 1907. 11:3039. other consid and 100  
\*214th st, late Av A, s s, 344 e White Plains road, 25x100, New Village of Jerome. Frank McGarry to Katie C Johnson. 1/2 part. All liens. Nov 1. Dec 7, 1907. nom  
\*Same property. David H Hunt to Frank McGarry. 1/2 part. B & S. Jan 23. Dec 7, 1907. nom  
\*Same property. James H Moran et al to Katie C Johnson. 1/2 part. B & S and C a G. All liens. Dec 4. Dec 7, 1907. other consid and 100  
\*214th st, s s, 319 e White Plains road, 25x100, New Village of Jerome. Mary Capodilupo to Marietta De Pasquale. Dec 9. Dec 11, 1907. other consid and 100  
\*216th st, s s, 150 e Tilden av, 50x100, Laconia Park. A Shatzkin & Sons to Andrea Vinciguerra. Mort \$1,300. Dec 2. Dec 6, 1907. 100  
\*220th st, late 6th av, s e cor White Plains road, late 3d st, 105x114, except part for White Plains road, Wakefield. John O'Brien to Olinville Realty Co. B & S. Nov 4. Dec 9, 1907. 100  
\*233d st (19th av), n e cor 1st st, 105x114, Wakefield. Mary A Bahrenburg et al to William Nilsson. Dec 5. Dec 6, 1907. nom  
236th st, late Opdyke av, n e cor Katonah av, late 2d st, 100x100, Katonah av except part for Katonah av, vacant. Wm J Eckert et al to John M Haffen. 1-3 part. Mort \$4,000. Mar 13. Dec 6, 1907. 12:3385. 100  
246th st, late Delafield lane or Dock road, e l, leading through farm of Joseph Delafield from Riverdale av to Hudson River, begins 15 n e from n line said farm where it joins land of Nevins at point 681.2 e from w s of wall of N Y C & H R R R Co, runs s e along said e l 535 and 200 x — on curve still along said e l e and s 150.2 x s e again 109.11 x s w 20.2 to s s said land or road x e 16.2 x n and w — x s 15 to beginning, 3-sty frame dwelling and vacant. Maturin L Delafield et al to Cleveland H and Grace H Dodge. July 25. Dec 7, 1907. 13:3418. nom  
\*Av D, e s, 33 s 13th st or Ellis av, 25x105, Unionport. Franklyn J Studley to Leonard J Studley. Correction deed. Mort \$3,500. Nov 29. Dec 6, 1907. 100  
\*Amsterdam av, w s, abt 152 n Liberty st, 25x100, Westchester. Nettie J Jones to John J Bergman. Oct 31. Dec 10, 1907. nom  
\*Ash av, n s, 460 w Corsa av, 25x100, Laconia Park. Release mort. Workmens Sick & Death Benefit Fund of the U S of A to Louis Terminielli. Nov 20. Dec 9, 1907. 400  
Belmont av, No 2383, late Cambreleng av, w s, 100 s 187th st, 25x87.6, 2-sty frame dwelling. Filomena Tesoro to Carmela Barba. Mort \$1,500. June 5. Dec 9, 1907. 11:3074. other consid and 100  
Bainbridge av, n e cor Niles st, 50x100, vacant. Eliz C Elliott to Gustave A Domidion. Dec 7. Dec 9, 1907. 12:3335. other consid and 100  
Bathgate av, No 1834, e s, 189 s 176th st, 27x100, 2-sty frame dwelling. FORECLOS (Nov 14, 1907). Edw C Graves (ref) to Cath E O'Connell. Dec 9, 1907. 11:2923. 4,450  
Bailey av, e s, 709.5 s Kingsbridge road, 50x100, vacant. Isabella Arendt to Hester Smith. Mort \$1,760. Dec 5. Dec 9, 1907. 11:3239. nom  
\*Bronx Park av, e s, 75 s Lebanon st, 25x100.  
Bronx Park av, e s, 125 s Lebanon st, 25x100.  
Henrietta R Sweitzer to Mollie Strumlauber. 1-3 part. B & S. All liens. Nov 26. Dec 9, 1907. other consid and 100  
\*Boston road, s w cor Cedar st, 50x67x50x30, Arden property, Westchester. Wm G Conklin to Sarah M Le Brantz. B & S. Apr 18, 1906. Dec 9, 1907. nom  
\*Bracken av, w s, 225 n Randall av, 25x100. Land Co C of Edenwald to Ernesto Magnetti. Sept 12. Dec 6, 1907. nom  
\*Baychester av, w s, 25 s Central av, 75x90, being parts lots 16, 17, 18 and 21, 22 and 23 block 16 map Pelham Park.  
Baychester av, w s, part lot 13 block 25 same map, begins at s s lot 14, runs w 29.8 to Briggs av, x s e 16 x n e along an open plaza at junction of Briggs av and Baychester av, 25 to w s Baychester av, x n 1.1 to beginning.  
Chas H Graham to Maria L Graham. Mort \$1,575. Nov 20. Dec 6, 1907. nom  
\*Bronx Park av, e s, abt 100 s Morris st, 75x90, Lester Park. Chas H Broas TRUSTEE in bankruptcy of Joseph J Murphy and Jeremiah J Moran INDIVID and of firm Murphy & Moran to Josef Frenkel. All title. Dec 5. Dec 6, 1907. 2,250  
\*Bartholdi av, n s, 350 w Pine av, 25x100, Williamsbridge. The Co-operative Building Bank to Meta Schmidt. Mort \$2,200 and all liens. Dec 6. Dec 7, 1907. 3,250  
Burnside av, No 578, s w s, 380.2 s e of the approach to Concourse and 455.2 s e from e s Anthony av, runs s w 100 x n e 100 to av x n w 37 to beginning, 2-sty brk dwelling. Andrew L Gardiner to Annie Hauck. Mort \$6,000. Dec 10. Dec 11, 1907. 11:2814. other consid and 100  
\*Bracken av, e s, 383.1 s Kingsbridge road, 25x100, Edenwald. Thos P Hickie to Timothy Maher. Oct 3. Dec 11, 1907. nom  
Concord av, w s, 79 n 147th st, late Dater st, 79x100, vacant. Timothy F Sullivan to John J Greene. Mort \$5,500. Dec 4. Dec 11, 1907. 10:2579. other consid and 100  
Concord av, w s, 158 n 147th st, late Dater st, 79x100, vacant. Same to same. Mort \$5,500. Dec 4. Dec 11, 1907. 10:2579. other consid and 100  
\*Commonwealth av, e s, 87.6 n Tremont av, 25x100. Hyman Seplovitz to Max Lax. 1/2 part. Dec 9. Dec 10, 1907. other consid and 100  
Concord av, w s, 79 n 147th st, late Dater st, 158x100, vacant. Edw G Black to Timothy F Sullivan. Q C and Correction deed. Nov 27. Dec 10, 1907. 10:2579. nom  
Clinton av, n e cor 179th st, late Lebanon st, 25x100x25.4x100, 179th st vacant. Louise Fischer widow to Geo N Fischer. Mort \$4,500. Dec 5. Dec 7, 1907. 11:3094. nom  
\*Columbus av, n s, 78 w Van Buren st, 26x-x25x107. Regent Realty Co to Louisa Chiappa. All liens. Dec 3. Dec 7, 1907. nom

# ATLAS PORTLAND CEMENT

## 30 BROAD STREET, NEW YORK

- Courtlandt av, Nos 790 and 792, e s, 48.6 s 158th st, 50x91.6, two 3-sty frame tenements and stores. Abraham Kalish to Solomon Kalish. Mort \$14,000. Apr 7, 1906. Dec 12, 1907. 9:2404. nom
- \*Eastchester road, e s, abt 401 s Saratoga av, 25.1x111.11x25x 109.7. Hudson P Rose Co to Dominick Napolee. July 9. Dec 9, 1907. nom
- \*Edison av, w s, 169 n Liberty st, 50x100. David Jones to Fred Schroeder. Nov 14. Dec 11, 1907. other consid and 100
- Heath av, e s, 595.3 s Kingsbridge road, runs e 131.2 x s 50.8 x w 139.5 to av x n 50 to beginning, vacant. Louis H Du Bois to Mae Du Bois his wife, of Orange, N J. Dec 12, 1907. 11:3240. nom
- Hughes av, No 2128 | n e cor 181st st, 36x90x60x93, 2-sty frame 181st st dwelling and vacant. Filomena Tesoro to Felice Abbenante. Mort \$6,000. Nov 14. Dec 9, 1907. 11:3082. other consid and 100
- \*Highway leading from Westchester to Kingsbridge, e s, 222.6 n Old Boston road, 25x104.6x25x105.3, Westchester. Wm G Conklin to Sarah M Le Brantz. B & S. Apr 18, 1906. Dec 9, 1907. nom
- Jackson av, No 887, w s, 134.3 n 161st st, late Clifton st, 19.9x 75, 2-sty brk dwelling. FORECLOS (Nov 27, 1907). Charles Levy (ref) to Charlotte Wolff. Dec 6. Dec 9, 1907. 10:2638. 4,800
- \*Jefferson av, s s, 75 w Bracken av, 25x100, Edenwald. Joseph Hirschhorn to Henry Schwartz. Mort \$600. Dec 4. Dec 9, 1907. nom
- Jackson av | n w cor 156th st, 76.11x25x 156th st, Nos 707, on map No 703 | 77.2x25, 5-sty brk tenement and store. Louis Leibsohn to Israel Leibsohn and Samuel Cowen. Mort \$31,000. Aug 15. Dec 6, 1907. 10:2636. nom
- Longwood av, No 871, n s, 186 w Hewitt pl, 39x100, 5-sty brk tenement. Release mort. Geo F Johnson to George and Thos C Edgar. All title. Sept 26. Dec 11, 1907. 10:2689. nom
- \*Muliner av, e s, abt 312 s Neil av, 26.9x103.9x25x94. Neil av, s w cor Fowler av, 41.6x63.7x40x62.6. Fidelity Development Co to Edw K Eisenhart, of Bangor, Pa. B & S. Oct 27, 1906. Dec 10, 1907. other consid and 100
- Mapes av, No 2042 | n e cor 179th st, 102.11x24x103x24, vacant. 179th st, No 1063 | John A Steinmetz to Lyman W Divine. 1/2 part. Dec 11. Dec 12, 1907. 11:3108. other consid and 100
- Mohegan av, e s, 645 s 180th st, late Samuel st, 82.6x150, with a right of way 42 ft. as in deed to George Wolfe dated Apr 13, 1886, vacant. Simon Unget to Henry New. 1-3 part. July 3, 1907. Dec 9, 1907. 11:3123. nom
- Nelson av, w s, 120.1 s Featherbed lane, 100x96.5. Featherbed lane, s w cor Nelson av, 48.6x113.6x48.4x120.1, vacant. FORECLOS, Oct 31, 1907. Robert Jablinowski referee to Benjamin Schneider. Dec 2. Dec 6, 1907. 11:2874. 10,600
- Netherland av, n e cor 227th st, deed reads plot begins at n e cor land of Emily S Sage at a stone fence on s w line land of Estate Dan'l Ewen, runs s w 711.6 x s w 10 to point 40 n e from s w s Sidney st x s e 250 x n e 775 to said stone fence x n w 254.6 to beginning, contains 4.294-1,000 acres, 2 and 3-sty brk dwelling and vacant. Also all right, title and interest to Troy st, s e s, at n e s 227th st, late Sidney st, and at s w cor land now Emily S Sage, runs s e 288.3 x s w 10 x n w 288.3 to Troy st x n e 10 to beginning, contains 66-1,000 of an acre. Edward E Sage to Emily S Sage. Dec 11, 1906. Dec 9, 1907. 13:3407. nom
- Prospect av | n e cor Fox st, runs n e 155.6 x e 100 x s 84 to n s Fox st | Fox st x — 122.11, three 5-sty brk tenements, stores on cor. Hercules Realty Co to Phoebe Nalitt. All liens. Sept 6. Dec 9, 1907. 10:2684. other consid and 100
- Plympton av, w s, abt 683 s Featherbed lane, 37x100.3x49x100. Aqueduct av, s s, abt 105.9 w Plympton av, 65.4x57.5x—x58.2. FORECLOS, Oct 31, 1907. Robert Jablinowski referee to John H Nickisch. Dec 2. Dec 7, 1907. 11:2875. 6,325
- Park av, No 4439, w s, 367.6 s 182d st, 25x96.11x25x96.1, 2-sty frame dwelling. Chas L Meehan to Wm F Curran. B & S and correction deed. Dec 3. Dec 7, 1907. 11:3030. nom
- Prospect av | n e cor Kelly st, runs e 132.7 to w s Av St John Kelly st | x n 185.5 to e s Prospect av x s 228 to beginning, vacant. Edward Baer to Isaiah M Prell. 1-6 part. Mort \$52,000 and all liens. Dec 2. Dec 7, 1907. 10:2686. other consid and 100
- \*Pratt av, e s, 408.5 n Nelson av, 25x103.5x25x104.3, Edenwald. Land Co C of Edenwald to Edward Cummings. Nov 26. Dec 11, 1907. nom
- \*Pratt av, e s, 590.3 s Kingsbridge road, 25x100. Land Co C of Edenwald to Denis McGowan. Aug 6. Dec 6, 1907. nom
- Prospect av, late Taylor av, w s, 275 n 187th st, late Clay av, 25x100, vacant. Mary E Page widow and DEVISEE J Augustus Page to Smith Ely. B & S and C a G. Mar 27, 1887. Dec 10, 1907. 11:3104. 150
- Randall av, s w cor Coster st, 50x100, vacant. Release mort. The Trust Co of America to East Bay Land & Impt Co. Oct 30. Dec 12, 1907. 10:2768. nom
- Same property. East Bay Land & Impt Co to Luigi Ferracane. Dec 12, 1907. 10:2768. other consid and 100
- River av, e s, 300 n e 167th st, 100x150, vacant. Ernestine C Gardner to Oscar P Schlemmer, of Hartford, Conn. Mort \$5,000. June 5. Dec 10, 1907. 9:2489. 15,500
- Rochambeau av, e s, 25 s 208th st, 50x100, vacant. John L Turner to Winifred I wife John L Turner. All liens. Dec 6. Dec 10, 1907. 12:3336. other consid and 100
- Stebbins av, No 1360, s e s, 433.9 n e Freeman st, 25x63.6x23.11x 73.5, 2-sty frame dwelling. Joseph Schmid to John Gidor. 1-3 part. Mort \$3,500. Dec 4. Dec 9, 1907. 11:2965. other consid and 100
- Shakespeare av, s e cor Featherbed lane, 111.7x100x144.5x105.3, vacant. Release mort. Bankers Trust Co to Upland Realty Co. Dec 9. Dec 10, 1907. 11:2872. 14,500
- Same property. Upland Realty Co to Henry Kraus. Dec 9. Dec 10, 1907. 11:2872. other consid and 100
- Topping av, No 1770, e s, 195 s 175th st, 20x95, 2-sty brk dwelling. Rasha Arnold to Samuel A Potter. Mort \$10,000. Dec 9. Dec 10, 1907. 11:2799. nom
- Trinity av | w s, 160.10 s Westchester av and at intersection of Terrace pl | s s Terrace pl, runs s 348.7 x w 207.4 to e s Park st | Park st x n 174.11 to s s Terrace pl x n e 246.5 and 32.10 to beginning, 2 and 3-sty frame dwelling and vacant. Mary E Mack to Joseph Goldstein. All liens. Nov 21. Dec 9, 1907. 10:2623. nom
- Tinton av, e s, 355 s 165th st, strip 3.5x100x3x100. Gerald J Barry to Lillian A Robitzek. All title. Q C. Aug 27. Dec 9, 1907. 10:2669. nom
- Union av, No 1296, e s, 323 s Boston av, 25x100, except part for av, 2-sty frame dwelling. Joseph Roberts to Jacob Mendelsohn. 1/2 part. Mort \$2,000. May 29, 1906. Dec 9, 1907. 11:2969. other consid and 100
- Union av, No 884, e s, 96.1 n 161st st, 37.6x100. Union av, No 888, e s, 133.7 n 161st st, 37.6x100. Union av, No 892, e s, 171.1 n 161st st, 37.6x100. Union av, No 896, e s, 208.7 n 161st st, 37.6x100. Union av, No 898, e s, 246.1 n 161st st, 37.6x100. Union av, No 900, e s, 283.7 n 161st st, 37.6x100. Six 6-sty brk tenements. FORECLOS (Sept 5, 1907). William Allen (ref) to May B Strassbourger. Oct 25. Dec 12, 1907. 10:2677. 18,050
- Vyse av, No 1141, w s, 200 n 167th st, 20x100, 3-sty brk dwelling. Herman D Junge to Flora wife of Isaac Levy. Mort \$9,500 and all liens. Nov 26. Dec 6, 1907. 10:2752. other consid and 100
- Villa av | n w cor 200th st or Southern Boulevard, 127.8x100x 200th st | 79.11x110.10, vacant. Chas H Graham to Maria L Graham. Mort \$8,750. Nov 20. Dec 6, 1907. 12:3321. nom
- Valentine av, w s, 217.6 n 200th st, runs w 125 x n 9.9 x n e 20.4 x e 111.6 to av x s 25 to beginning, vacant. Wm C Bergen to Ellen T Turner. Mort \$7,000. Dec 10. Dec 11, 1907. 12:3306. other consid and 100
- Woodycrest av, w s, 146.7 s 168th st, runs w 104.7 to w s old lane x n 30 x e 114.3 to av x s 60.2 to beginning, vacant. Geo W Collier to Mary McDermott. Q C and C a G. Nov 19. Dec 10, 1907. 9:2515. nom
- Woodycrest av, No 1229, w s, 146.7 s 168th st, runs w 104.7 to w s old lane x s 50.11 x e 94.8 to av x n 50 to beginning, two 2-sty frame dwellings. Geo W Collier to Mary J Brown. Q C. Dec 9. Dec 10, 1907. 9:2515. nom
- Washington av, No 2170, e s, 287.6 s 182d st, late Fletcher st, 37.6x134.4x38.1x141.2, except part for av, 5-sty brk tenement. Frederick M Mellert to Eliz B Hotaling. Mort \$28,000. Dec 5. Dec 10, 1907. 11:3049. other consid and 100
- Willow av | e cor 137th st, 100x125, vacant. Julia B Reeve to 137th st | Samuel H Shaw. B & S. Mort \$22,000. Nov 22. Dec 7, 1907. 10:2589. omitted
- Washington av, No 1048, e s, 99.3 n 165th st, 19.3x85, 3-sty frame dwelling. John Illig to John Koehn. Dec 4. Dec 6, 1907. 9:2370. other consid and 100
- Same property. John Koehn to John Illig EXR of Mary or Maria Illig. C a G. Dec 4. Dec 6, 1907. 9:2370. other consid and 100
- Whitlock av, e s, 324.4 s Hunts Point road, 25x127.5x25.3x128.8, 3-sty brk dwelling. Machiel Sweyd to Rebecca Sweyd. Mort \$7,500. Dec 3. Dec 6, 1907. 10:2734. other consid and 100
- Washington av | e s, 68.6 n 183d st, late Taylor st, 50x175 to Bassford av | Bassford av or to e s of a lane 20 ft wide and except part for Washington and Bassford avs, vacant. Chas H Graham to Maria L Graham. Mort \$6,000. Nov 20. Dec 6, 1907. 11:3053. nom
- \*Westchester av, s s, extends from 172d st to 173d st, a strip between old and new line of said av. Release easement of right of way, &c. Kirkarina Keller with Denis D O'Mahoney, Joseph J Gleason and Henry F Muller. Nov 18. Dec 6, 1907. nom
- \*2d av, e s, 333.4 s 216th st, late 2d st, 33.4x100, Williamsbridge. August Ellinghaus to Alma Schostak. C a G. All liens. Nov 23. Dec 9, 1907. 100
- 3d av | s w cor 182d st, 80x103, vacant. FORECLOS, Nov 21, 182d st | 1907. James A Donegan ref to Peter J Shields, Brooklyn. Dec 5. Dec 6, 1907. 11:3048. 15,500
- 3d av, late road from Kingsbridge to West Farms | e s, 175 n from Bathgate av | n w s Bathgate av, late Elizabeth st, 71x194 to n w s Bathgate av, late Elizabeth st, x50x145, vacant. 3d av, late road from Kingsbridge to West Farms, e s, 246 n from n w s Bathgate av, late Elizabeth st, 61x128x50x94, vacant. Bradley & Currier Co to The Bradley & Currier Co (Lim). Q C. Mar 15. Dec 10, 1907. 11:3055. nom
- 5th av | c l, at c l Walnut st, runs n along c l 5th av 225 x e Walnut st | 25 to e s 5th av x s 200 x e along n s Walnut st 50 x s 25 to c l Walnut st x w 75 to beginning, vacant. Harold Swain to Wm B Ewing. B & S. Nov 18. Dec 12, 1907. 11:2838. nom
- \*6th av, e s, 75 n 215th st or 1st st, 25x100, Laconia Park. A Shatzkin & Sons to Salvatore Lufrano. Mort \$750. Dec 2. Dec 6, 1907. 100
- \*6th av, e s, 50 n 215th st or 1st st, 25x100, Laconia Park. A Shatzkin & Sons to Antonio Salerno. Mort \$750. Dec 2. Dec 6, 1907. 100
- \*Part lot 52 as on former map of City Island, begins 340 from s | part lot 52, runs e — to land Rodman Bown x n 50 x w across lot 52 — x s 50 to beginning, contains 1/4 acre. Minneford av, lot 765 map Eliz B King on City Island, and adj above on east, beginning at the s w cor and adj land Levina E Bell and lands of Joshua Leviness, runs e 13.6 to w s Minneford av x n 50.2 x w 7.2 x s — to beginning. Levina A Ahmuty to James D Bell. Q C. Dec 3. Dec 6, 1907. nom

"LARGEST DISTRIBUTORS OF FRONT BRICK IN THE WORLD."

# FRONT ENAMELED AND BRICKS

GENUINE "HARVARD" FREDENBURG & LOUNSBURY

289 FOURTH AVENUE. Corner 22d Street NEW YORK

Strip of land at Riverdale, described in L 496 page 440 of Westchester Co, and dated Mar 19, 1863. Assigns CONTRACT. Wm C Osborn et al EXRS, &c, Wm E Dodge to Cleveland H and Grace H Dodge INDIVID. All title. June 3, 1907. Dec 7, 1907. 13:3418. nom

## LEASES

Under this head all Leases recorded, Assignment of Leases and Leasehold Conveyances will be found. The expressed consideration following the term of years for which a lease is given means so much per year.

December 6, 7, 9, 10, 11 and 12.  
BOROUGH OF MANHATTAN.

Allen st, No 51, north store and basement. Jacob Levy to Hayman Finkelstein; 4 years, from May 1, 1908. Dec 9, 1907. 1:307 ..... 840  
 Attorney st, No 60, e s, 175 s Delancey st, all. Karl M Wallach to Abraham Teichman; 5-12 years, from Dec 1, 1907. Dec 9, 1907. 2:342 ..... 800  
 Bleecker st, No 203, store, &c. Gianbatista Perazzo and ano to Joseph Piantanida; 5 years, from May 1, 1907. Dec 12, 1907. 2:542 ..... 1,320  
 Christopher st, No 117, all. Moses Shapiro et al to Ferdinando Morino; 3 years, from Nov 1, 1906. Dec 6, 1907. 2:619... 3,500  
 Cooper Square, Nos 34 and 36, all. John Hoge to Leopold and Harry Barth; 20 5-12 years, from Dec 1, 1907. Dec 7, 1907. 2:544 ..... taxes, &c, and 10,000  
 Courtlandt st, No 51, all. Samuel and Maurice Brill to Henry C Meyer; 12 years, from Oct 1, 1907. Dec 7, 1907. 1:60 ..... taxes, &c, and 9,000 and 11,500  
 Grand st, Nos 620 and 622, all. Rosalie M Steele et al to James Morse; 3 years, from May 1, 1907. Dec 7, 1907. 2:317..... 4,000  
 Hester st, No 163, all. Antonio Sacca to Francisco Gidari; 4 years, from July 1, 1907. Dec 6, 1907. 1:238... 1,500  
 Hester st, No 55, store, &c. Reuben Satenstein to Charles Oken; 3 years and 1½ months, from Mar 15, 1908. Dec 11, 1907. 1:310 ..... 1,500  
 Madison st, No 301. Assign lease. Nathan Weissbaum to Jacob Weissbaum. Nov 30. Dec 10, 1907. 1:269 ..... nom  
 Montgomery st, No 67, ground floor, &c. Jacob Klinger et al to Louis Morgenstern; 5-12 years, from Sept 15, 1907. Dec 10, 1907. 1:259 ..... 780 and 840  
 Same property. Assign lease. Louis Morgenstern to David Gingo and Jacob Straus. Nov 23. Dec 10, 1907. 1:259 ..... nom  
 Mulberry st, No 25, store, &c. Pius C Volta to Nichola Salomona; 5 years, from May 1, 1910. Dec 9, 1907. 1:161... 1,200  
 Mulberry st, No 25. Assign lease. Nicola Salomone to John D Haase. Dec 6. Dec 11, 1907. 1:161 ..... nom  
 Same property. Reassign lease. John D Haase to Nicola Salomone. Dec 7. Dec 11, 1907. 1:161 ..... nom  
 Nassau st, e s, extends from Fulton to Ann st, —x—. Agreement cancelling covenants in lease as to erection of new building, &c. The Minister, &c, of the Reformed Protestant Dutch Church of the City of N Y with Sarah E Raymond widow. Dec 5. Dec 10, 1907. 1:91 ..... nom  
 Norfolk st, No 108, e s, 200.8 s w Rivington st, 25.1x100, all. U S Trust Co TRUSTEE Stephen Whitney to Henry Weiler; 5 years, from Jan 1, 1906. Dec 10, 1907. 2:353 ..... taxes, &c, and 1,000  
 Same property. Assign lease. Anna Weiler EXTRX Henry Weiler to Anna Weiler. Oct 30. Dec 10, 1907. 2:353 ..... nom  
 Norfolk st, No 110, e s, 175.7 s w Rivington st, 25.1x100, all. U S Trust Co TRUSTEE Stephen Whitney to Henry Weiler; 5 years, from Jan 1, 1906. Dec 10, 1907. 2:353 ..... taxes, &c, and 1,000  
 Same property. Assign lease. Anna Weil EXTRX Henry Weiler to Anna Weiler. Oct 30. Dec 10, 1907. 2:353 ..... nom  
 Orchard st, No 176, basement, cellar and 3 rooms on 2d floor. Moses Ryshpan to Jacob Zucker and ano; 3 years, from May 1, 1908. Dec 12, 1907. 2:412 ..... 1,470  
 Park row, No 156 ..... 1  
 Pearl st, No 466 ..... 1  
 Assign lease. Gustave Reiff to Thos E Hines. Dec 6. Dec 7, 1907. 1:160 ..... nom  
 Park row, Nos 53 to 63, cor Frankfort st, two stores north of main entrance, store room under sidewalk; also rooms 201 and 202 on 2d floor. The Press Publishing Co to Perry Pharmacy Association; 12½ years, from Nov 1, 1908. Dec 12, 1907. 1:121 ..... 25,000  
 Pine st, No 7, basement and rear part sub-basement, vault, &c. McVickar, Gaillard Realty Co to Felix Bertini and Henry Kender; 3-4-12 years and 29 days, from Dec 2, 1907. Dec 9, 1907. 1:46 ..... 5,000  
 Willett st, No 63, store, &c. Wolf Shipper to Benjamin Adams; 3-5-12 years, from Dec 1, 1907. Dec 6, 1907. 2:338 ..... 600  
 2d st, Nos 214 and 216, all. Salomon Henig et al to L Joseph Arbeit; 5 years from day that certificate of occupancy is issued. Sept 14, 1907. Dec 9, 1907. 2:385 ..... 11,000  
 Same property. Assign lease. L Joseph Arbeit to Salomon and Michael Henig. Dec 7. Dec 9, 1907. 2:385 ..... 8,000  
 13th st, No 3 West, store and basement. Agnes M Strebeigh widow to Isaac S Kaliske; 8½ years, from Nov 1, 1907. Dec 6, 1907. 2:577 ..... 1,500  
 14th st, No 120 East, store, &c. Caroline E B Condit and ano to James E Bristol and ano; 10 years, from May 1, 1908. Dec 11, 1907. 2:559 ..... 5,250 and 5,750

14th st, No 3 East, east store and basement. The Metropolitan Safe Deposit Co to "The Why" Dairy Lunch Co; 5 years, from Nov 11, 1907. Dec 12, 1907. 3:842 ..... 3,500  
 17th st, No 148 West. Assign lease. Wm Kersting to William Wilde. All title. Dec 7. Dec 9, 1907. 3:792 ..... nom  
 18th st, No 227, n e s, 257 n w 2d av, 23x92. Rutherford Stuyvesant to Agnes C Lardner EXTRX Wm J Lardner; 21 years, from Nov 1, 1907. Dec 9, 1907. 3:899 ..... taxes, &c, and 850  
 18th st, Nos 157 and 159 West, stable. Linda S Rau to M Leonard Heffernan; 6 years, from Oct 1, 1907. Dec 11, 1907. 3:794 ..... 8,000 and 9,000  
 18th st, No 223 East, all. John H McGurk to Chas Gebhardt; 5 years, from Nov 1, 1907. Dec 12, 1907. 3:899 ..... 1,650  
 18th st, No 219 East, all. John H McGurk to Charles Gebhardt; 5 years, from Nov 1, 1907. Dec 12, 1907. 3:899 ..... 1,620  
 18th st, No 219, n e s, 349 n w 2d av, 23x92, the lot. Rutherford Stuyvesant to John E McGurk; 21 yrs, from Nov 1, 1907, privilege of renewal for 21 years. Dec 10, 1907. 3:899... taxes, &c, and 850  
 18th st, No 213, n e s, 418 n w 2d av, 23x92, the lot. Rutherford Stuyvesant to Louise A McGurk; 21 yrs, from Nov 1, 1907, privilege of renewal. Dec 10, 1907. 3:889 ..... taxes, &c, and 850  
 18th st, No 223, n e s, 303 n w 2d av, 23x92, the lot. Rutherford Stuyvesant to John H McGurk; 21 yrs, from Nov 1, 1907, with renewal. Dec 10, 1907. 3:899 ..... taxes, &c, and 850  
 20th st, No 237, n e s, 175 n w 2d av, 25x92, all. Hamilton Fish Corp to Matthew Smith; 21 years, from Nov 1, 1907, with privilege of renewal. Dec 11, 1907. 3:901... taxes, &c, and 950  
 20th st, No 243, n e s, 100 n w 2d av, 25x92, all. Hamilton Fish Corp to Matthew Smith; 21 years, from Nov 1, 1907, with privilege of renewal. Dec 11, 1907. 3:901... taxes, &c, and 950  
 20th st, No 241, n e s, 125 n w 2d av, 25x92, all. Hamilton Fish Corp to Alice Smith; 21 years, from Nov 1, 1907, with privilege of renewal. Dec 11, 1907. 3:901... taxes, &c, and 950  
 34th st, No 1 West, store. Bankers Investing Co to Francizca, a corp; from Jan 1, 1908, to Jan 1, 1929. Dec 11, 1907. 3:836 ..... 18,000 and 21,000  
 43d st, No 527 West. Assign lease. Hugh McDonagh to William Zoll. Dec 4. Dec 6, 1907. 4:1072 ..... nom  
 Same property. Re-assign lease. Wm Zoll to Hugh McDonagh. Dec 5. Dec 6, 1907. 4:1072 ..... nom  
 60th st, No 235 West. Assign lease. John W Kirby to George Kienzie. Dec 2. Dec 6, 1907. 4:1152 ..... nom  
 Same property. Re-assign lease. George Kienzie to John W Kirby. Dec 3. Dec 6, 1907. 4:1152 ..... nom  
 82d st, No 335 East. Assign lease. Abraham Leichtag to Wolf Franzblau. May 1, 1907. Dec 12, 1907. 5:1545 ..... 700  
 Same property. Agreement as to deposit of \$500, etc., under lease. Sander Frankel and Sarah M Epstein with same. Oct 14, 1907. Dec 12, 1907. 5:1545 ..... nom  
 82d st, No 335 East, all. Sander Frankel and ano to Abraham Leichtag; 3 years, from Mar 1, 1907. Dec 9, 1907. 5:1545 ..... 1,400  
 112th st, Nos 306 and 308 East. Assign lease. Filosseno Aievoli to Davies J Marshall. Dec 7. Dec 11, 1907. 6:1683 ..... nom  
 Same property. Reassign lease. Davies J Marshall to Filosseno Aievoli. Dec 9. Dec 11, 1907. 6:1683 ..... nom  
 112th st, Nos 306 and 308 East, middle store floor, basement, &c. John Carfano to Filosseno Aievoli; 3 years, from Nov 1, 1907. Dec 9, 1907. 6:1683 ..... 324 to 384  
 115th st, No 278 West, upper e s store, &c. David Auerbach to Hyman Atkin; 2-9-12 years, from Aug 1, 1907. Dec 10, 1907. 7:1830 ..... 420  
 144th st, Nos 251 and 253 West, east store and basement. Charles Wanderman et al to Frank Reiner; 5 years, from Oct 1, 1907. Dec 12, 1907. 7:2030 ..... 480 to 600  
 156th st, Nos 506 to 510, s s, abt 95 w Amsterdam av, —x—. Agreement modifying lease. Jos L Weil to Emil Fraad. Dec 9. Dec 11, 1907. 8:2114 ..... nom  
 Av A, No 372 s e cor 23d st, store. Frances A Lawrence to 23d st, No 500 August Moller; 4 years, from Oct 1, 1908. Dec 6, 1907. 1:292 ..... 1,600  
 Av B, No 43, store and basement. The Estate of Philip Deffaa to Morris and Louis Giltitz; 3 years, from May 1, 1906. Dec 11, 1907. 2:399 ..... 1,200  
 Same property. Assign lease. Louis Giltitz to Morris Giltitz. ½ part. All title. Aug 23, 1906. Dec 11, 1907. 2:399 ..... nom  
 Same property. Assign lease. Max Giltitz to M Zimmermann Co. Dec 7, 1907. Dec 11, 1907. 2:399 ..... nom  
 Av D, w s, 68.9 n 13th st, 92x88, all. Edith McCreery to John Neely and ano; 5 years, from Feb 1, 1908. Dec 12, 1907. 2:383 ..... taxes, &c, and 1,600  
 Broadway, w s, 73.10 n 140th st, 21.11x—, store. Conrad R Gross and George Herbener to August Knippenberg; 8-12 years, from Dec 1, 1907. Dec 11, 1907. 7:2088 ..... 1,600 to 2,100  
 Columbus av, No 503, store, &c. Wm H Callanan to David Muddock; 4-5-12 years, from May 1, 1908. Dec 10, 1907. 4:1208 ..... 1,800  
 Lexington av, No 1697, store, &c. Hulda Cohn to Osiele Beckerman; 5 years, from Jan 1, 1907. Dec 10, 1907. 6:1634 ..... 516  
 Lexington av, No 1276, 1st store south of entrance. Simon E and Max E Bernheimer to E L Burkenthein; 3 years, from May 1, 1908. Dec 11, 1907. 5:1514 ..... 660  
 Madison av, No 2080. Assign lease. Charles Morris to Edw L Fisher. All title. Dec 6. Dec 9, 1907. 6:1755 ..... nom  
 Old Broadway, No 73, store, &c. Mary J Morris to Albert Fensterer; 4-5-12 years, from Dec 1, 1907. Dec 10, 1907. 7:1985 ..... 780  
 1st av, No 1611, south 2d floor, store and basement. Adolph Jacobs to Wm F Heller; 3 years, from May 1, 1906. Dec 12, 1907. 5:1546 ..... 960 and 1,020  
 2d av, No 1012. Assign lease. Heyman Hirsch and ano to Edward Freund. Nov 18. Dec 11, 1907. 5:1364 ..... nom

# KING'S WINDSOR CEMENT

## For Plastering Walls and Ceilings

Elastic in its nature, can be applied with 25 per cent. less labor and has 12½ per cent. more covering capacity than any other similar material

**J. B. KING & CO., No. 1 Broadway, New York**

3d av, No 1228, all. Clara Lalor and ano TRUSTEES James Kelly to Michael Pfeiffer and Geo Seewald; 5 years, from Nov 1, 1907. Dec 11, 1907. 5:1405..... 3,500

3d av, No 509, store, &c. Dederick Brakmann to Geo L Trenner; 6½ years, from Nov 1, 1907. Dec 7, 1907. 3:915..... 1,800

8th av, No 970, Assign lease. James F Maguire and ano to George Kienzie. Nov 11, 1907. 4:1029..... nom

Same property. Reassign lease. George Kienzie to James F Maguire and ano. Dec 9, 1907. 4:1029..... nom

8th av, s e cor 125th st, store; also store adj on east, basement, except part excluded. United Merchants Realty & Impt Co to John P Flannery; from Sept 1, 1907, to Apr 30, 1927. Dec 10, 1907. 7:1930..... 17,000 and 17,500

Same property. Assign lease. John P Flannery to Neil A Flannery. Aug 22, 1907. Dec 10, 1907. 7:1930..... nom

9th av, No 212. Surrender lease. Philip F Clark to Patrick J Clark. All title. Dec 3, 1907. 3:747..... nom

### BOROUGH OF THE BRONX.

138th st, No 651, n w cor Cypress av, Assign lease. Patrick Greene to Delia Greene. Dec 7, 1907. 10:2556..... nom

156th st, No 846 East, cor store. Pauline Muller to Emanuel J Girr and Robert C Levers; 3 4-12 years, from Jan 1, 1908. Dec 11, 1907. 10:2675..... 900 and 960

Brook av, No 1062, hotel, &c, all of. Leo Levinson to Martin Wellbrock; from Nov 1, 1907, to Apr 30, 1918. Dec 12, 1907. 9:2392..... 1,200 to 1,800

\*Eastern Boulevard, — s, being plot begins 12 ft e of the Pottery building on line drawn from intersection of Eastern Boulevard with property of Robitzek, runs s 334 x w 197 x n 430.10 to Eastern Boulevard, contains 30 city lots. Release right of redemption of a lease dated Mar 22, 1905, also as to an agreement as to a right of way, &c. Charles Levy TRUSTEE in bankruptcy of the Unionport Pottery Co to Gustavus and Edward Robitzek, firm of G Robitzek & Bro. All title. Dec 6, 1907..... 75

St Anns av, No 349. Assign lease. John B Schmidt to George Kienzie. Nov 23, 1907. 9:2268..... nom

Same property. Reassign lease. George Kienzie to John B Schmidt. Nov 25, 1907. 9:2268..... nom

## MORTGAGES

NOTE.—The arrangement of this list is as follows: The first name is that of the mortgagor, the next that of the mortgagee. The description of the property then follows, then the date of the mortgage, the time for which it was given and the amount. The general dates used as headlines are the dates when the mortgage was handed into the Register's office to be recorded.

Whenever the letters "P. M." occur, preceded by the name of a street, in these lists of mortgages, they mean that it is a Purchase Money Mortgage, and for fuller particulars see the list of transfers under the corresponding date.

The first date is the date the mortgage was drawn, the second the date of filing; when both dates are the same, only one is given.

Subscribers will find mortgages in this list with the wrong block number attached. The block number we give is taken from the instrument as filed.

Mortgages against Bronx property will be found altogether at the foot of this list.

### BOROUGH OF MANHATTAN.

December 6, 7, 9, 10, 11 and 12.

Aymar, Herbert R to GREENWICH SAVINGS BANK. 6th av, No 642, e s, 58.7 n 37th st, 20.3x75. Dec 9, 1 year, 5%. Dec 10, 1907. 3:839..... 2,000

Bertini, Felix and Henry Kendeler to Lion Brewery. Pine st, No 7. Saloon lease. Dec 5, demand, 6%. Dec 9, 1907. 1:46..... 3,000

Bernard, Julia D to Clara F Smith. 26th st, No 136, s s, 81 e Lexington av, 19x49.4. P M. Dec 9, 1907, 3 years, 5½%. Dec 9, 1907. 3:881..... 8,000

Same to Sarah Bell. Same property. P M. Prior mort \$8,000. Dec 9, 1907, due Nov 1, 1908, —%. 3:881..... 3,500

Benaim, Rose K wife Jacob H with Amelia Wolff. Lexington av, No 1498, w s, 50.11 s 97th st, 25x80. Agreement of extension of rate of interest at 5½% and payment of principal sum of \$17,500. Dec 6, 1907. 6:1624..... nom

Bensel, John A to Romaine C Nichols. Fulton st, No 123, n e s, 125 s e Nassau st, runs n e 119 to s w s Ann st, No 46, x s e 25 x s w 119 to Fulton st, x n w 25 to beginning. Prior mort \$65,000. Dec 5, due, &c, as per bond. Dec 6, 1907. 1:91. 10,000

Bacon, Mary E to U S TRUST CO of N Y. 39th st, No 109, n s, 155 e 4th av, 25x98.8. Dec 2, 3 years, 5½%. Dec 6, 1907. 3:895..... 45,000

Bell, Margaret H to FRANKLIN SAVINGS BANK. 45th st, No 115, n s, 180 w 6th av, 20x100.5. Dec 5, 1 year, 6%. Dec 6, 1907. 4:998..... 10,000

Bining, Eliz D to LAWYERS TITLE INS AND TRUST CO. Lexington av, No 329, e s, 24 s 39th st, 23.6x80. Dec 6, 1907, 3 years, 5½%. 3:894..... 21,000

Breen, Geo H to Caroline Levy. 2d av, No 1033, w s, 50.5 s 54th st, 25x75. Dec 6, 1907, due Dec 1, 1908, 6%. 5:1324..... 1,000

Burke, Luke A to Chas R Stoughton. Manhattan av, n e cor 118th st, No 321, 25x95. Dec 6, 1907. Demand, 6%. 7:1945..... 20,000

Beckel, Elsa A, of Brooklyn, N Y, to Geo W Beckel. 36th st, No 225, n s, 297.6 e 3d av, runs e 31.6 x n e 156.5 x n w 53.7 x s 64.1 x w 2.6 x s 98.9 to beginning. Prior mort \$60,500. Dec 9, due Jan 13, 1909, 6%. Dec 10, 1907. 3:917..... 3,000

Belkofsky, Rosie with Harry R Kohn. Delancey st, No 300. Extension mort. Nov 15, 1907. 2:328..... nom

Same with Lajzer and Haris Herskowitz. Same property. Extension mort. Dec 4, 1907. 2:328..... nom

Bertschinger, Otto T, of East Orange, N J, to Frederick Schuck. Lexington av, No 1516, w s, 150.11 n 97th st, 25x105. Dec 11, 1907, due Jan 2, 1913, 5½%. 6:1625..... 16,000

Battaglia, Liborio, Francesco Tavalacci and Salvatore Spitaleri to Henry B Kellner. 1st av, Nos 2061 and 2065, s w cor 107th st, No 338, 63.5x50. P M. Prior mort \$38,000. Dec 10, 7 yrs. 6%. Dec 11, 1907. 6:1678..... 27,000

Cornell, Robert C to Geo W Wickersham and ano trus Clarence Warden. Greenwich st, No 148, n w cor Liberty st, Nos 127 and 129, 24.8x87.11x25x86; also right of way over strip 9 ft wide. Dec 7, 1 year, 5%. Dec 10, 1907. 1:58..... 6,000

Clark, Le Roy to LAWYERS TITLE INS & TRUST CO. 30th st, No 350, s s, 227.8 e 9th av, 18.4x98.9. Dec 9, 3 years, 5½%. Dec 10, 1907. 3:753..... 10,000

Cooper, Mary E, of Bloomfield, N J, with John Gitz. 113th st, No 267, n s, 189 e 8th av, 35x100.11. Extension mort. Oct 10, 1907. 7:1829..... nom

Coutts, Geo H with Carrie Furth et al. 84th st, Nos 305 and 307 East. Extension two mort. Dec 6, 1907. 5:1547..... nom

Cloos-Longo, Grace L, of Pelham, N Y, to Geo Ehret. 8th av, Nos 910 to 914, n e cor 54th st, No 267, 62.11x25. Prior mort \$50,000. Dec 6, 1 year, 6%. Dec 7, 1907. 4:1026..... 4,000

Cromarty, Philip and Alice his wife to Elizabeth Cromarty. 171st st, No 564, s s, 125 e St Nicholas av, late 11th av, 25x95. Dec 12, 1907, 5 years, 5%. 8:2127..... 2,000

Cromarty, Eliz to Wm Ludden. 171st st, No 564, s s, 125 e St Nicholas av, 25x95. Dec 7, due, &c, as per bond. Dec 12, 1907. 8:2127..... 3,500

De Groat, James A with EQUITABLE LIFE ASSURANCE SOCIETY OF THE U S. 6th av, No 506. Extension mort. Nov 19, 1907. 3:832..... nom

Dixon, Wm P and Dumont Clarke exrs, &c, Josiah M Fiske with Ignatz Margareten. Mangin st, Nos 97 and 99. Extension two mort. Dec 9, 1907. 2:324..... nom

Dixon, Wm P and Dumont Clarke exrs and trus Josiah M Fiske with Nathan Burkan and Victor Herbert. Division st, No 243. Extension mort. Dec 10, 1907. 1:286..... nom

Daled Realty & Construction Co to General Theological Seminary of the Protestant Episcopal Church in U S. 37th st, Nos 413 and 415, n s, 175 w 9th av, 50x98.9. Dec 9, 1907, 5 years, 5%. 3:735..... 45,000

Same to same. Same property. Certificate as to above mort. Dec 9, 1907. 3:735.....

Dodge, Ida B to Henry Rose. 78th st, No 315, n s, 152 w West End av, 16x100. Prior mort \$12,000. Dec 7, 1 year, 6%. Dec 9, 1907. 4:1186..... 3,000

Danenberg, Sol to Jennie Goldstein. 121st st, No 362, s s, 66.8 w 1st av, 16.7x104. P M. Prior mort \$7,000. Dec 1, 2 years, 6%. Dec 9, 1907. 6:1797..... 1,900

Dexheimer, Henry with HUDSON CITY SAVINGS INSTN. 123d st, No 305 West. Extension mort. Nov 19, 1907. Dec 9, 1907. 7:1950..... nom

Diehl, Christian to EQUITABLE LIFE ASSUR SOC of the U S. 132d st, No 126, s s, 283.4 w Lenox av, 16.8x99.11. Nov 30, due Jan 1, 1911, 6%. Dec 7, 1907. 7:1916..... 7,500

Du Fais, John L as trustee under deed of trust with LAWYERS TITLE INS AND TRUST CO. 54th st, No 110 East. Extension mort. Nov 29, 1907. 5:1308..... nom

Delagi, Michael N to Emil Fraad. 106th st, No 59, n s, 150 e Madison av, 25x100.11. Prior mort \$25,000. Nov 23, due Mar 23, 1908, 6%. Dec 6, 1907. 6:1612..... 1,500

Dotson, Henderson H, of Wise Co, Virginia, to Napoleon B Dotson. 72d st, No 304, s s, 45.6 w West End av, runs s 45.10 x w 9.7 x s 6.5 x w 13.8 x n 5.11 x e 5.3 x n 46.3 to st x e 18 to beginning. Dec 2, 1 year, 6%. Dec 10, 1907. 4:1183..... 5,000

Di Salvo, Salvatore to P Henry Dugro and ano trustees Anthony Dugro. 39th st, No 303, n s, 74 e 2d av, runs n 49.4 x e 1 x n 16 x e 25 x s 11.4 x w 0.6 x s 54 x w 25.6 to beginning. P M. Dec 4, 5 years, 5%. Dec 6, 1907. 3:945..... 12,000

Same to same. Same property. P M. Dec 4, 5 years, 6%. Dec 6, 1907. 3:945..... 3,000

Enos, Jennie L to Alanson T Enos. 79th st, No 120, s s, 193 e Park av, 18x102.2. Prior mort \$25,000. Dec 11, due, &c, as per bond. Dec 12, 1907. 5:1413..... 10,000

Eberhart, Frank with Assoc for the Relief of Respectable Aged Indigent Females in City N Y. 94th st, No 334 East. Extension of mort. Nov 7, 1907. 5:1556..... nom

Ely, Edwin A with Mitchell Lehman and ano exrs, &c, Annette Lehman. 43d st, No 256, s s, 253.9 e 8th av, 26.3x100.4. Extension mort. Dec 9, 1907. 4:1014..... nom

Eisen, Fischel to Jonas Weil and ano. 73d st, Nos 228 and 230, s s, 125 w 2d av, 58.4x102.2. Dec 9, demand, 6%. Dec 10, 1907. 5:1427..... 1,000

EQUITABLE LIFE ASSURANCE SOCIETY OF THE U S with John Veigel. 143d st, No 251, n s, 287.6 e 8th av, 37.6x99.11. Extension mort. Nov 27, 1907. 7:2029..... nom

EQUITABLE LIFE ASSURANCE SOCIETY OF THE U S with Fredk Rohkohl. 143d st, No 253, n s, 250 e 8th av, 37.6x99.11. 143d st, No 255, n s, 212.6 e 8th av, 37.6x99.11. Extension of two mort. Nov 29, 1907. 7:2029..... nom

Egan, Stephen J to John Whalen. St Nicholas av, e s, 25 s 180th st, 75x100. P M. Dec 2, 1 year, 5%. Dec 10, 1907. 8:2153..... 32,000

Frey, Gustave with Fredk Schuck. Lexington av, No 1516. Subordination mort. Dec 6, 1907. 6:1625..... nom

Farley, Michl F to Peter Doelger. 11th av, s e cor 22d st, —x—, Saloon lease. Dec 9, demand, 6%. Dec 10, 1907. 3:693..... 10,000

Feinberg, Samuel to Nathan J Feinberg. 4th st, Nos 251 and 253, n s, 100 e Av B, 40x95.10x40x95.9. Prior mort \$60,000. Dec 10, due Feb 10, 1909, 6%. Dec 11, 1907. 2:387..... 3,000

Frankenstein, Louis to Ludvika H Larsen. 125th st, No 331, n s, 350 e 2d av, 23.1x99.11. Dec 11, 1907, 3 years, 5%. 6:1802..... 6,000

Fleischman, Joseph to Chas T Lark. 31st st, Nos 12 to 16, s s, 166.4 w Madison av, runs s 75 x e 21.4 x s 17.8 x w 25 x s 19.10 x w 50 x s 112.6 to st x e 53.8 to beginning. Prior mort \$379,000. Nov 26, 1 year, 6%. Dec 4, 1907. 3:860. Corrects error in last issue as to size of lot. 25,000

Fagan, Mary J, and Agnes and Charlotte E Dunphy to John A Cisco trus for Mary A Bostwick with John J Cisco. West End av, No 903, w s, 20.11 n 104th st, 20x98. Dec 9, due Jan 1, 1911, 5%. Dec 10, 1907. 7:1891..... 18,000

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Federal Insurance Co with Meyer Mirken and Chas J Fox. St Mark's pl, No 7, n s, abt 120 e 3d av, 24x122.6x—x110.6, w s. Extension mort. Nov 29, 1907. 2:464. nom  
Fine, Max to Chas E Fleming. Grand st, No 402, n s, 50 w Clinton st, 25x100. P M. Dec 6, 1907. Due Jan 1, 1911, 5%. 2:346. gold, 19,000  
Freedman, Joseph to John O Baker. Riverside Drive, No 220, n e cor 94th st, runs e 139.9 x n 100.8 x w 50 x s 25.2 x w 68 x s 0.1 x w 30.4 to Drive x s 76 to beginning. Building loan. Prior mort \$160,000. Dec 9, 1907, demand, 6%. 4:1243. 150,000  
Fish, Jacob to Joseph Golding. 12th st, Nos 313 to 321, n s, 180.6 e 2d av, 100x103.3. Dec 5, demand, 6%. Dec 7, 1907. 2:454. 8,000  
Finelite, David to Wm C Orr trus Mary J White. Baxter st, No 4, w s, 90.2 n Park row, 28x34.8x28x33.6. Dec 9, 5 years, 5%. Dec 12, 1907. 1:160. 4,300  
Gerdes, John H to Geo Waddington trustee for Augustus C Van Rensselaer will Glen Van Rensselaer. Canal st, Nos 119 and 121, n e cor Lafayette st, runs n 92.4 x e 13.1 x s 92 to Canal st, x w 1.4; Lafayette st, e s, 92.4 n Canal st, runs n 3.3 x e 13.5 x s — x w 13.1 to beginning. Dec 6, 1907, due Jan 1, 1910, 5%. 1:208. 6,000  
Golding, Sam to Hugo Cohn. Lewis st, Nos 22 and 24, n e cor Broome st, No 50, 75x25. Prior mort \$16,000. Dec 6, due May 6, 1908, 6%. Dec 7, 1907. 2:327. 8,000  
Garry, Peter A to Margaret A Weir. 34th st, No 143, n s, 132.6 e Lexington av, 17.6x100. Dec 5, 3 years, 5%. Dec 6, 1907. 3:890. 10,000  
Greenberg, Charles and Telka Wolfson to Bertha B B Walker. 98th st, No 63, n s, 225 e Madison av, 25x100.11. Dec 6, 1907, 3 years, 6%. 6:1604. 20,000  
Germania Life Ins Co to whom it may concern. 128th st, Nos 28 and 30 West. Certificate as to reduction of mort. Dec 5, Dec 10, 1907. 6:1725.  
Gough, Harry J to Annie Hauck. 54th st, No 413, n s, 200 w 9th av, 25x118.1x25.2x114.11. P.M. Prior mort \$11,900. Dec 10, due, &c, as per bond. Dec 11, 1907. 4:1064. 4,400  
Glick, Morris, of Brooklyn, N Y, to Abraham L Lowenstein. 102d st, No 68, s s, 31 w Park av, 30x100.11. Prior mort \$24,000. Dec 11, 1907, 3 years, 6%. 6:1607. 4,000  
Hooper, Edith M guardian Emily M Hooper et al with C Leroy Butler. 135th st, No 23, n s, 268.4 w 5th av, 16.8x99.11. Extension mort. Nov 25, Dec 11, 1907. 6:1733. nom  
Hart, Cath, Chas A and Esther to Henry J Tanner. 13th st, No 303, n s, 70.3 w 8th av, runs w 29.9 x n 25.10 x e 31.6 x s 6.3 x w 1.9 x s 19.7 to beginning. Nov 22, installs, 6%. Dec 11, 1907. 2:629. 200  
Huggins, Rosa L to Bond, Mortgage & Securities Co. Mercer st, No 51, w s, 174 n Grand st, 25x100. Dec 9, 3 years, —%. 1-3 part. Dec 10, 1907. 2:474. 4,000  
Hoertel, Fanny E with THE BOWERY SAVINGS BANK. 46th st, Nos 219 and 221 West. Extension mort. Dec 4, Dec 10, 1907. 4:1018. nom  
Holzman, Dora to Herman Tausky and ano. 2d av, No 2455, w s, 49.10 s 126th st, 25x105. P M. Nov 29, 5 years, 6%. Dec 4, 1907. 6:1790. Corrects error in last issue, when size read 25x106. 3,250  
Hines, Thomas E to Central Brewing Co. Park row, No 156, n cor Pearl st. Saloon lease. Dec 6, demand, 6%. Dec 7, 1907. 1:160. 588.61  
Hunt, Cath C and Richd H exrs Richard M Hunt with Samuel Kramer. 84th st, No 122, s s, 370 w Columbus av, 30x102.2. Extension mort. Oct 7, Dec 9, 1907. 4:1214. nom  
Hirsch, Ella and Samson M Hirsch with Solomon Plaut. Lexington av, No 1679, and 106th st, No 150 East. Extension mort. Dec 10, Dec 12, 1907. 6:1633. nom  
Hammel, Magdalena and Chas, and Wm H Hottes exrs Christian Hammel and Magdalena Hammel indiv to Samuel Scholle and ano. 2d av, No 1610, e s, 76.6 s 84th st, 25.6x100. Dec 12, 1907, 3 years, 5%. 5:1546. 17,000  
Iselin, Adrian Jr trustee to Buffalo, Rochester & Pittsburgh Railway Co. Rolling stock, &c. Release agreement, &c. Dec 6, Dec 9, 1907. Genl Mort. nom  
Jones, Gilbert E to METROPOLITAN LIFE INS CO. Madison av, No 222, w s, 106.8 s 37th st, 25x95. Dec 10, 1907, 3 years, 6%. 3:866. 90,000  
Janpole & Werner Construction Co to Peter Donald. 143d st, No 536, on map No 534, s s, 100 e Broadway, 37.6x99.11. Dec 9, 1907, 5 years, 5½%. 7:2074. 36,000  
Same to same. Same property. Certificate as to above mort. Dec 6, Dec 9, 1907. 7:2074.  
Koenig, Wm to Clara Hofeld as guardian. Lawrence st, Nos 20 and 22, s w s, 350 w Morningside av, runs s 76 x w 50 x n 98.3 x n e 3.7 to Lawrence st x s e 51.8 to beginning. Dec 9, 5 years, 5½%. Dec 10, 1907. 7:1966. 20,000  
Koenig, Wm to Frederick C Halbe. Lawrence st, Nos 20 and 22, s w s, 350 w Morningside av, runs s 76.10 x w 50 x n 98.8 x n e 3.7 to st x s e 51.8 to beginning. Prior mort \$20,000. Dec 9, due Jan 1, 1909, 6%. Dec 10, 1907. 7:1966. 6,000

Kean, Louis to Wm C Lutkins trus A M Cameron. 137th st, No 286, s s, 166 e 8th av, 15.6x99.11. Dec 10, 1907, 3 years, 5%. 7:1942. 10,250  
Kreitzberg, Mary and Michael Wielandt to Max J Kramer and ano. 6th st, Nos 208 and 210, s s, 130 e 3d av, 50x97. P M. Prior mort \$35,000. Mar 15, demand, 6%. Mar 16, 1907. 2:461. Corrects error in issue of March 23, when mortgagee's name was omitted. 10,000  
Koplik, Isidor and Hyman Rosner to Jacob Silverstein. 2d av, No 1960, s e cor 101st st, No 300, 25.11x100. Prior mort \$32,500. Dec 10, 1907, 3 years, 6%. 6:1672. 9,000  
Kopp, Albert as committee Henry Kopp with William Sierichs. 12th st, No 421 East. Extension two mort at increased interest from 4½% to 5%. Dec 6, 1907. 2:440. nom  
KNICKERBOCKER TRUST CO with Mayfield Construction Co. 10th st, Nos 13 to 19, n s, 100 w University pl, runs w 97.6 x n 60 x n e 25.5 x n 27.7 x e 73.3 x s 94.9 to beginning. Subordination mort. Oct 16, Dec 7, 1907. 2:568. nom  
Knell, John with John Preusser. 122d st, No 302, s s, 66.1 w St Nicholas av, 25x100.11. Extension mort. Dec 5, Dec 6, 1907. 7:1948. nom  
Koopmann, Emma to John Klemeyer. 10th st, Nos 157 and 159, n w cor Waverly pl, No 186, runs n 19.5 x w 75 x s 19.5 x e 75 to beginning. Dec 12, 1907, 1 year, 6%. 2:611. 5,000  
Kurzrok, Annie to Wm H Manning. 50th st, No 409, n s, 77.11 e 1st av, 19.5x100.5. Prior mort \$6,000. Dec 12, 1907, due June 12, 1909, 6%. 5:1362. 2,500  
Kaleschitz, Anton to Paul Lisowski. 76th st, No 419, n s, 268 e 1st av, 20x102.2. Dec 3, 2 years, 6%. Dec 9, 1907. 5:1471. 1,000  
Lien, Philip and Hyman Levy to Samuel Goldstein. 6th st, No 221, n s, 145.4 e Hall pl, 23.5x90.10. Dec 11, due Dec 19, 1908, 6%. Dec 11, 1907. 2:462. 2,000  
Levy & Weinstein Realty & Construction Co to Ernest M Levy. 141st st, Nos 609 and 611, n s, 175 w Broadway, 75x99.11. Prior mort \$90,000. Dec 9, due Jan 1, 1910, 6%. Dec 11, 1907. 7:2088. 13,000  
Same to same. Same property. Certificate as to above mort. Dec 7, Dec 11, 1907. 7:2088.  
Lyons (J C) Building & Operating Co to Levi C Weir as Pres Adams Express Co. Madison av, No 616, n w cor 58th st, No 17, 100.5x95. Sept 12, 1904, due, &c, as per bond. Dec 11, 1907. 5:1294. notes, 125,000  
Same to same. Same property. Certificate as to above mort. Sept 12, 1904. Dec 11, 1907. 5:1294. nom  
Lyon, Anna E to Chas J Schmitt. 72d st, Nos 127-133 East. Assignment of rents for month of Oct, 1908, amounting to \$2,166.66. July 31, Dec 10, 1907. 5:1407. nom  
Laun, Johanna (and John Laun in bond only), to Morris L Wolff. 12th st, No 30, s w s, 325 n w 5th av, 25x103.3. Dec 6, 1907, 5 years, 5%. 2:575. 15,000  
Lefkowitz, Nathan to Joseph Gluck. 118th st, Nos 216 and 218, s s, 212.11 e 3d av, 37.1x100.5. Prior mort \$42,000. Dec 5, 5 years, 6%. Dec 6, 1907. 6:1667. 3,000  
Lo Piccolo, Salvatore to Mary S Deane. 17th st, No 426, s s, abt 220 w Av, ——. Dec 6, 1907, 2 years, 6%. 3:948. 1,000  
Loeb, Jakob to Daniel Cunningham. Madison st, No 309, n s, abt 128 e Montgomery st, 26.6x90.7x26.6x89 e s. Dec 5, 5 years, 5%. Dec 6, 1907. 1:268. 30,000  
Same and Ernst Winterhoff with same. Same property. Subordination mort. Dec 5, Dec 6, 1907. 1:268. nom  
Langton, Eugenie C to Mutual Mortgage Co. 92d st, No 255, n s, 125 w Broadway, 40x100.8. Prior mort \$40,000. Dec 7, 1907, due, &c, as per bond. 4:1240. 6,000  
Loring, Daniel A trustee (under deed of trust by Mary E Hanley to Daniel A Loring) to C Wesley Holland. Broadway, Nos 1270 to 1280, s e cor 33d st, Nos 60 and 62 on map Nos 60 to 66, runs s 118.6 x e 87 x n 17 x w 30 x n 75 to st, x w 97.4. Dec 6, 2 years, 6%. Dec 7, 1907. 3:834. 150,000  
Levie, Joseph M and Abraham Schulman with Caroline F Hoelzle. 133d st, No 65, n s, abt 158 e Lenox av, 25x99.11. Extension mort. Nov 22, Dec 7, 1907. 6:1731. nom  
Lunitz, Lippe and Maurice Weingarten to Edward A Morrison and ano trustees Samuel Philips. Ridge st, No 132, e s, 67 s. Stanton st, 27x100. Dec 9, 1907, 3 years, 5%. 2:344. 26,000  
Leizerkowitz, Philip to D Comyn Moran and ano exrs Charles Moran. 97th st, Nos 68 and 70, s s, 50 w Park av, 50x100.11. Dec 6, 5 years, 5½%. Dec 9, 1907. 6:1602. 48,000  
Same and David Kidansky and Louis J Levy with same. Same property. Subordination mort. Dec 9, 1907. 6:1602. nom  
Leizerkowitz, Philip and Nancy Krakower with same. Same property. Subordination mort. Dec 9, 1907. 6:1602. nom  
Levy, Esther B to TITLE GUARANTEE & TRUST CO. 103d st, No 303, n s, 100 w West End av, 20x100.11. Dec 12, 1907, due, &c, as per bond. 7:1890. 6,500  
London, Albert to Metropolitan Holding Co. 172d st, No 503, n s, 100 w Amsterdam av, 43.9x94.6. Prior mort \$32,000. Dec 11, due June 1, 1908, 6%. Dec 12, 1907. 8:2129. 10,000

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- Lyons (J C) Building & Operating Co to Wm A Merrill. 79th st, No 54, s s, 275 w Park av, 25x102.2. Prior mort \$90,000. July 12, due Aug 17, 1908, 6%. Dec 12, 1907. 5:1393. 25,000  
Same to same. Same property. Certificate as to above mort. July 10, 1907. Dec 12, 1907. 5:1393.
- Levy, Jefferson M to John C Gray et al trus Augustus Hemenway. Fulton st, Nos 114 and 116, s s, 25.3 w Dutch st, runs s 82.6 x w 25.3 x s 1.3 x w 25.3 x n 83 x e 50.6 to beginning. Dec 12, 1907, due, &c, as per bond. 1:78. 165,000
- London, Albert to Henry Ettelson. Amsterdam av, Nos 2525 to 2531, e s, 45.4 n 185th st, 2 lots, each 41.4x100. 2 mort, each \$9,000. Dec 11, 3 years, 6%. Dec 12, 1907. 8:2149. 18,000
- London, Albert to Wm L Condit. Amsterdam av, Nos 2529 and 2531, e s, 86.8 n 185th st, 41.4x100. Dec 11, due Oct 15, 1910, 5%. Dec 12, 1907. 8:2149. 33,000
- London, Albert to MECHANICS & TRADERS BANK. Amsterdam av, Nos 2525 to 2531, e s, 45.4 n 185th st, 82.8x100. Prior mort \$84,000. Dec 9, due Apr 1, 1908, 6%. Dec 12, 1907. 8:2149. 10,251.67
- London, Albert to Julia A Groh. Amsterdam av, Nos 2525 and 2527, e s, 45.4 n 185th st, 41.4x100. Nov 15, due Oct 1, 1910, 5%. Dec 12, 1907. 8:2149. 33,000
- LAWYERS TITLE INS & TRUST CO with Walter and Emma K Beam. 21st st, No 323, n s, 450 e 9th av, 25x98.9. Extension mort. Dec 2. Dec 12, 1907. 3:745. nom
- Mayer, Nathan, of Brooklyn, N Y, to Irma M Ferulli. 98th st, Nos 336 and 338, s s, 99.6 w 1st av, runs s 25.5 x w 0.6 x s 75.5 x w 50 x n 100.11 to st x e 50.6 to beginning. P M. Nov 19, 3 yrs, 5%. Dec 11, 1907. 6:1669. 20,000
- Marchesini, Gaetano and Louis to Joseph Devoto. Spring st, No 206, s s, abt 50 w Sullivan st, 25x100. Prior mort \$22,000. Dec 7, due June 12, 1908, 6%. Dec 11, 1907. 2:490. 7,000
- McGrath, Patrick to Walter O Beaton. 29th st, No 225, n s, 310 e 3d av, 25x98.9. Dec 11, 1907, 1 year, 6%. 3:910. 2,500
- Mayer, Paul to Lillie B Lillenthal. 135th st, No 249, n s, 80 e 8th av, runs n 74.11 x e 11 x n 25 x e 9 x s 99.11 to st x w 20 to beginning. June 21, 1900, demand, 4½%. Rerecorded from June 25, 1900. Dec 11, 1907. 7:1941. 15,000
- Miller, Adolf and Louis Fraenkel with Annie Saler. 182d st, n s, 125 e St Nicholas av, 75x79.9. Extension mort. Nov 21. Dec 10, 1907. 8:2154. nom
- Murray, Kate with Geo W McAdam. 126th st, No 552, s s, 175 e Broadway, 25x99.11. Extension mort. May 4, 1906. Dec 9, 1907. 7:1979. nom
- Meyer, Hugo to Saml Scholle and ano trustees Abraham Scholle. 75th st, No 57, n s, 88.4 w Park av, 20x102.2. Dec 5, 3 years, 5%. Dec 6, 1907. 5:1390. 22,500
- Morse, James to Lion Brewery. Grand st, Nos 620 and 622. Saloon lease. Oct 15, demand, 6%. Dec 7, 1907. 2:317. 5,000
- Mali, Pierre and Henry E Coe with N Y TRUST CO. 10th st, Nos 13 to 19, n s, 100 w University pl, runs w 97.6 x n 60 x n e 25.5 x n 27.7 x e 73.3 x s 94.9 to beginning. Subordination mort. Oct 16. Dec 7, 1907. 2:568. nom
- Mottola, Angelo to Pasqualina Succurato. 2d av, No 2000, n e cor 103d st, 25.5x74.7. Dec 7, 1907, 1 year, 6%. 6:1675. 600
- Mayfield Construction Co to N Y TRUST CO. 10th st, Nos 13 to 19, n s, 100 w University pl, runs n 94.9 x w 73.3 x s 27.7 x s w 25.5 x s 60 x e 97.6 to beginning. Dec 5, 5 years, 5%. Dec 7, 1907. 2:568. 173,000
- Same to same. Same property. Certificate as to above mort. Dec 3. Dec 7, 1907. 2:568.
- Mellor, Sarah L to Mabel R Bauerdorf. 123d st, No 28, s s, 87 e Lenox av, 13x90.10. Dec 9, 1907, 1 year, 6%. 6:1721. 5,000
- Moore, Katharine E to Katharine T Moore. 10th av, No 235, n w s, at s w s 24th st, No 500, 24.8x77.6. Nov 22, 3 years, 5%. Dec 9, 1907. 3:695. 10,000
- Milano, Maria to Michele Lasala. 106th st, No 311, n s, 200 e 2d av, 25x100.11. Prior mort \$16,000. Dec 11, 1 year, 6%. Dec 12, 1907. 6:1678. 700
- Moran, D Comyn as TRUSTEE with Ignatz Mantler. 96th st, No 232 East. Extension mort. Sept 13. Dec 12, 1907. 5:1541. nom
- Nimocks, Emma O, of Brooklyn, to TITLE GUARANTEE & TRUST CO. 49th st, No 219, n s, 141.5 w Broadway, 20.8x100.5. P M. Dec 11, due, &c, as per bond. Dec 12, 1907. 4:1021. 22,000
- Norden, Mary H extrx Henry E Norden to Wm B Farrell. Amsterdam av, No 633, e s, 26.2 s 91st st, 25x100. Prior mort \$23,500. Dec 9, 2 years, 6%. Dec 10, 1907. 4:1221. 5,000
- Neugass, Frederick and Agostino Simeone and Clemente Marro with Jessie Gillender. 106th st, No 346 East. Subordination agreement. Nov 25. Dec 11, 1907. 6:1677. nom
- O'Connell, James to Thusnelda A Christensen. 147th st, No 545, n s, 275 e Broadway, 16x99.11. P M. Dec 6, 1907, 5 years, 5%. 7:2079. 10,000
- O'Donohue, Teresa M J to Kate B Happel extrx, &c, Henry Bruner. Columbus av, No 372, w s, 51.8 s 78th st, 26x103.11x26x104.8. Dec 6, 5 years, 5%. Dec 9, 1907. 4:1149. 20,000
- Plancer, Fischel to Lillie B Stumpf. Houston st, No 249, s s, 37.6 e Norfolk st, 18.9x75. Dec 10, 2 years, 6%. Dec 12, 1907. 2:355. 1,000
- Pipe-Trucking Co to Henry W McMann and Geo W K Taylor. Consent to mort for \$783.50 on personal property in No 123 W 17th st. Dec 11. Dec 12, 1907.
- Same to same. Certificate as to above consent. Dec 11. Dec 12, 1907.
- Prell, Mabel with Ignatz Mantler. 96th st, No 230 East. Extension mort. May 22. Dec 12, 1907. 5:1541. nom
- Pati, Pasquale with Jacob Schmitt. Prince st, No 21, n s, 40 w Elizabeth st, 20.10x73.2x20x75.9. Extension mort. Dec 5. Dec 6, 1907. 2:508. nom
- Pell, Herbert C, of Tuxedo Park, N Y, with Frederic de P Foster and ano trustees. Chambers st, No 203, and Reade st, No 195. Extension mort. Oct 25. Dec 7, 1907. 1:139. nom
- Pick, Jacob and Saul Levine to Max Wolper and ano. Monroe st, Nos 26 and 26½, s s, 255.2 w Market st, 29.10x52x30.1x49.5. P M. Correction mort. Dec 3, due June 1, 1909, 6%. Dec 6, 1907. 1:253. 4,500
- Pomrinse, Harry to STATE BANK. Catharine st, No 84, w s, 151.3 n Cherry st, 24.8x100x25x100; all title to scrip in rear, 25.7x0.6x25.7x1.2. Nov 15, 25 months, secures notes, 6%. Dec 10, 1907. 1:252. 6,000
- Pfeiffer, Lillie to Isaac Lowenfeld. Amsterdam av, Nos 502 and 504, w s, 40 n 84th st, 40x100. P M. Correction mort. Prior mort \$57,000. Dec 5, 4 years, 6%. Dec 11, 1907. 4:1232. 11,400
- Rhineland Real Estate Co with SEAMENS BANK FOR SAVINGS in City N Y. 6th av, Nos 190 to 198, e s, 78.3 s 14th st, runs e 76.1 x s 128.3 to n s 13th st x w 76.1 x n 128.3 to beginning. Extension mort. Nov 21. Dec 7, 1907. 2:577. nom
- Rothstein, Abraham (and Julius Myer in bond only) to Century Mortgage Co. Mangin st, No 10, e s, 75 s Broome st, 25x51.6. Dec 6, 3 years, 6%. Dec 9, 1907. 2:321. 14,500
- Same to Alexander Marburger. Same property. Prior mort \$14,500. Dec 6, 3 years, 6%. Dec 9, 1907. 2:321. 6,000
- Rector, &c, of All Angels Church in City and County of N Y with BANK FOR SAVINGS IN CITY N Y. 80th st, Nos 251 and 253, n s, 100 e West End av, 50x— to s s 81st st, No 254. Extension mort. Dec 10. Dec 12, 1907. 4:1228. nom
- Rosenberg, Marks to Gustav Frohlich. 52d st, No 334, s s, 230 w 1st av, 20x100.5. Prior mort \$12,000. Dec 10, 4 years, 6%. Dec 12, 1907. 5:1344. 4,000
- Rosenberg, Marks to Gustav Frohlich. 52d st, No 332, s s, 250 w 1st av, 25x100. Prior mort \$18,000. Dec 10, 4 years, 6%. Dec 12, 1907. 5:1344. 6,000
- Reiner, Frank to Lion Brewery. 144th st, Nos 251 and 253 W. Saloon lease. Dec 6, demand, 6%. Dec 12, 1907. 7:2030. 460
- Rogers, Ratie A widow to Republic of Panama. 72d st, No 14, s s, 250 w Central Park West, 25x102.2. Dec 10, 3 years, 5%. Dec 11, 1907. 4:1124. 50,000
- Rosenblatt, Rebecca, of Chicago, Ill, to Harris Cohen. 135th st, s s, 375 w Amsterdam av, 125x99.11. P M. Dec 10, 1 year, 6%. Dec 11, 1907. 7:1988. 20,000
- Randall, Elizabeth B with Timothy J Sullivan. 8th av, No 17. Extension mort at increased interest of 4½% to 5½%. Nov 23. Dec 11, 1907. 2:625. nom
- Rafter, Edward to Frederick M Hilton trustee Thos F Carhart. St Nicholas av, s e cor 180th st, 25x100. Dec 9, due, &c, as per bond. Dec 11, 1907. 8:2153. 14,000
- Rafter, Edward to Fredk M Hilton trustee Thos F Carhart. St Nicholas av, s w cor 180th st, 25x100. Dec 9, due, &c, as per bond. Dec 11, 1907. 8:2162. 13,000
- Rosenzweig, Pauline and Henry Seiler exrs Rosie Seiler; and Minnie and Isaac Seiler; Pauline Rosenzweig and Nettie Levy to Clement Le Boutillier. 3d st, No 293, n s, 230.4 e Av C, 20.8x96. Dec 10, 1907, 3 years, 5%. 2:373. 8,000
- Rubano, Felice with Francis Eife. 116th st, No 304 East. Subordination agreement. Dec 5. Dec 10, 1907. 6:1687. nom
- Riverside Stable Co to Jacob G Marston. 99th st, Nos 137 and 139, n s, 400 w Columbus av, 64.10x—x58x100.11. Prior mort \$38,575. Nov 25, 3 years, 5%. Dec 10, 1907. 7:1854. 3,000
- Same to same. Same property. Certificate as to above mort. Nov 30. Dec 10, 1907. 7:1854.
- Ryan, Cornelius J to Frank Curtis trustee Sarah M Moore. 7th av, No 556, n w s, abt 25 s 40th st, 24.8x100. Dec 4, due, &c, as per bond. Dec 6, 1907. 3:789. 35,000
- Story, Fannie E D wife Wm C to Walter A Penfield. South st, Nos 178 and 179, n s, 62.9 e Roosevelt st, runs e 41.9 x n 75.8 x w 0.8 x n 76.1 to s s Water st, Nos 337 to 339, x w 37.4 x s 151.4 to beginning. Prior mort \$16,000. Dec 11, 1907, 2 years, 6%. 1:110. 6,000
- Schaefer, Louis with Thos E Greacen. Vandewater st, Nos 17 to 27, n s, 338 w Pearl st, runs n 81.10 x n e 10.2 x n 144.3 to s s Rose st, Nos 45 to 51, x e 91.11 to point 188.7 w Pearl st x s 106.3 x w 7.9 x s 87.2 to Vandewater st at point 204.10 w Pearl st x w 133.1 to beginning. Extension mort. Nov 30. Dec 12, 1907. 1:114. nom
- Simeone, Agostino and Clemente Marro to Jessie Gillender. 106th st, No 346, s s, 104.4 w 1st av, 25.4x100.11. Nov 25, due Nov 10, 1910, 5%. Dec 11, 1907. 6:1677. 11,000
- Snyder, Henry to Rosetta Hart. Columbus av, No 948, w s, 101.2 n 106th st, 25.1x100. Dec 11, 1907, due, &c, as per bond. 7:1861. gold, 17,000
- Shenk, Joseph to The Hermitage Co. 99th st, Nos 62 and 64, on map No 60, s s, 225 e Madison av, 37.6x100.11. P M. Prior mort \$44,150. Dec 1, 4 years, 6%. Dec 4, 1907. 6:1604. Corrects error in last issue, when location read w of Madison av. 3,550
- Shenk, Joseph to The Hermitage Co. 99th st, Nos 54 and 56, on map No 54, s s, 150 e Madison av, 37.3x100.11. P M. Prior mort \$44,150. Dec 1, 4 years, 6%. Dec 4, 1907. 6:1604. (Corrects error in last issue, when 2d line read map No 60, s s, 225 e Madison av, 37.6x100.11. P M. Prior.) 3,550
- Strappone, Maria to Francis Eife. 116th st, No 304, s s, 80 e 2d av, 20x100.10. Dec 5, 5 years, 5½%. Dec 10, 1907. 6:1687. 9,000
- Schmeidler, Benj with Bene Posner. Av C, Nos 117 and 119. Agreement modifying terms of mort. Nov 21. Dec 10, 1907. 2:390. nom
- Shepard, Edward M trustee John R Ackerman with Edward B Corey. 70th st, No 62 West. Extension mort. Dec 2. Dec 6, 1907. 4:1122. nom
- Schulz, Adam with Slavic Realty Co. 81st st, No 516, s s, 248 e Av A, 25x102.2. Extension mort. Feb 7. Dec 6, 1907. 5:1577. nom
- Smith, Ruth N, of Patchogue, N Y, to Marion Smith. 126th st, No 227, n s, 237.6 w 7th av, 12.6x99.11. P M. Dec 5, due, &c, as per bond. Dec 6, 1907. 7:1932. 4,000
- Segelbaum, Sadel to Max J Sulzberger. 8th av, No 2918, e s, 74.11 n 154th st, 25x100. Dec 2, due Jan 1, 1908, 6%. Dec 6, 1907. 7:2040. 2,200
- Siefke, Herman to TITLE GUARANTEE & TRUST CO. Grand st, Nos 61 and 63, s s, 72.1 w Wooster st, 42x50. Dec 12, 1907. due, &c, as per bond. 1:228. 6,500
- Stuyvesant Mortgage Co with LAWYERS TITLE INS & TRUST CO. 7th st, No 209 and 211 East. Agreement as to share ownership of mort. Feb 19. Dec 12, 1907. 2:390. nom
- Shea (J S) Co to James J Martin. 8th av, Nos 2746 and 2748, s e cor 146th st, No 260, 40x100. P M. Dec 11, 3 years, 6%. Dec 12, 1907. 7:2031. 22,000
- TITLE GUARANTEE & TRUST CO with Jacob Berlin. 9th st, No 428, s s, 213 w Av A, 25x94. Extension mort. Nov 6. Dec 9, 1907. 2:436. nom
- Trustees of Columbia College in City N Y with Tillie Salvin. Grand st, No 212. Extension mort. Oct 31. Dec 11, 1907. 2:470. nom
- Trustees of Columbia College in City N Y with Siegfried W Mayer. 17th st, No 206 West. Extension mort. Dec 10. Dec 11, 1907. 3:766. nom

# MAPLEDORAM & CO. Bay Ridge Property

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Thayer, Francis K with Aaron Guedalia. 117th st, No 19, n s, 110 w Madison av, 25x100.11. Extension mort. Dec 10. Dec 11, 1907. 6:1623. nom  
Thayer, Geo A with Aaron Guedalia. 117th st, No 17, n s, 135 w Madison av, 25x100.11. Extension of mort. Dec 10. Dec 11, 1907. 6:1623. nom  
Thoma, Andreas to Joseph L Graf. 66th st, Nos 414 to 418, s s, 200 e 1st av, 50x100.5. Dec 6, 1907, 3 years, 6%. 5:1460. 7,000  
Termini, Giuseppe to TITLE GUARANTEE & TRUST CO. 2d av, No 155, w s, 49.1 s 10th st, 15.1x100. Dec 12, 1907, due, &c, as per bond. 2:465. 10,000  
Ufland, Moses to Fannie Gomperts. 117th st, Nos 142 and 144, s s, 225 e 7th av, 50x100.11. Prior mort \$54,000. Nov 19, 1 year, 6%. Dec 7, 1907. 7:1901. 2,000  
Wirsing, Josephine widow and Wm A and Helen F Wirsing heirs Wm Wirsing with LAWYERS TITLE INS AND TRUST CO. 1st av, No 1001. Extension mort. Dec 5. Dec 7, 1907. 5:1347. nom  
Wolf, Geo to Bertha B B Walker. 98th st, No 63 East. Subordination mort. Dec 4. Dec 6, 1907. 6:1604. nom  
Williams, Louise L to J Harvey Ladew. 43d st, n s, 350 e 1st av, runs e — to exterior bulkhead line East River x n to s s 44th st x w — x s — to beginning, with land under water East River in front of above. 1-3 part. Dec 10, 1 year, 5%. Dec 11, 1907. 5:1355. 40,000  
West, Maria A, Edw F Edwards, Lydia A Carll and Ruth W Stoothoff heirs Geo W Edwards with Frederic de P Foster and ano exrs Sarah A Sands. Christie st, Nos 227 and 229. Two extensions of mort. Oct 21. Nov 29, 1907. 2:427. Corrects error in last issue, when st was Christopher st, Nos 227 and 229. nom  
Zaliels, Roman B and Esther Goldman to Louisa K Kuntz and ano. Sheriff st, No 85, w s, 175 n Rivington st, 25x100. P M. Dec 11, 5 years, 5%. Dec 12, 1907. 2:339. 20,500

### BOROUGH OF THE BRONX.

Under this head the \* denotes that the property is located in the new Annexed District (Act of 1895).

Ambriola, Maria G wife of and Gaetano to Martin L Henry. Hughes av, e s, — n 189th st, and being lot 204 map property S Cambreling et al, 25x87.6. Nov 29, due Apr 1, 1909, 6%. Dec 7, 1907. 11:3078. 700  
Adams, Margt S with Jacob Ott. Beaumont av, No 2286, e s, 52 s 183d st, ——. Subordination agreement. Dec 7. Dec 9, 1907. 11:3101. nom  
Abbenante, Felice to Joseph Tesoro. Hughes av, No 2128, n e cor 181st st, 36x90x60x93. P M. Prior mort \$6,000. Nov 14, due, &c, as per bond. Dec 9, 1907. 11:3082. 1,900  
\*Blaesser, Jacob to Mary M Henning. 13th st, n s, 261.2 w Av E, 229x112x210x84.11, Unionport. P M. Dec 11, 3 years, 5%. Dec 12, 1907. 4,500  
Bjorkegren, Charles to Wm Z Larned. Webster av, w s, 21.10 s 171st st, 100x54.8 to e s Clay av x100.8x64.2. Dec 11, 1 year, 6%. Dec 12, 1907. 11:2887. 3,000  
Browning, Sarah to Jacob Ott. Beaumont av, late Jackson av, old line, e s, 52 s 183d st, late Columbia av, old line, 20.6x92.11x 20.11x97.4. Dec 7, 3 years, 5½%. Dec 9, 1907. 11:3101. 4,000  
\*Bell, James D to John Fleondon. Plot begins 340 from s part lot 52, runs e — to land Rodman Bown x n 50 x w — across lot 52 x s 50 to beginning, being part of lot 52 as on former map City Island, contains ¼ of an acre; Minneford av, w s, lot 765 map property Eliz R B King, City Island, and adj above on east, 50.2x13.6x—x7.2. Dec 3, 2 years, 6%. Dec 6, 1907. 3,000  
Becker, C Adelbert to Mitchel Valentine. 3d av, e s, 119.6 n Tremont av, 95x125.2; Tremont av, n s, 88.11 e 3d av, 49.11x94x 48.11x103.11. Dec 6, 1907, 1 year, 5%. 11:3060. 30,000  
Costello, Mary A to T Francis Flood. Hull av, w s, 200 s Woodlawn road, 25x110. Dec 10, 1907, 1 year, 6%. 12:3333. 1,000  
Christmann, Henry, Jr, to Henry Christmann, Sr. Belmont av, No 2043, w s, 190 s 180th st, 18x69x17.11x71.3. Prior mort \$2,500. Dec 11, due Jan 1, 1911, 5%. Dec 12, 1907. 11:3080. 1,200  
\*Chiappa, Louisa to Regent Realty Co. Columbus av, n s, 78 w Van Buren st, 26x—x25x107. P M. Dec 3, 3 years, 5½%. Dec 7, 1907. 1,600  
\*Cohen, Jacob to Mary M Stone. Av C, s w cor 7th st, 33x105, Unionport. Dec 9, 1907, 1 year, 6%. 4,000  
\*Cohen, Leah to Louis Kleintzky. Hancock st, e s, 205 n Columbus av, 25x100. Dec 7, 1 year, 6%. Dec 9, 1907. 250  
Campbell, Bertha G to Annie Goldflam. La Fontaine av, e s, 57.8 s Quarry road, 20x95. Prior mort \$2,500. Dec 5, 1 year, 6%. Dec 6, 1907. 11:3063. 600  
\*Dosso, John B to Nanny Reese. Unionport road, e s, 507.7 w White Plains road at point 461.8 n along same from Morris Park av, runs e 67.9 x n 16.8 x w 61.8 to Unionport road x s 17.8 to beginning, with right of way over strip to Morris Park av. Dec 4, due Jan 1, 1911, 5%. Dec 9, 1907. 2,500  
Domidion, Gustave A to Eliz C Elliott. Bainbridge av, n e cor Niles st, 50x100. P M. Dec 7, 2 years, 5½%. Dec 9, 1907. 12:3335. 2,250  
\*Dosso, John B to Nanny Reese. Unionport road, e s, 513.7 w White Plains road at point along same 445 n Morris Park av, runs e 73.7 x n 16.8 x w 67.7 x s 17.8, with right of way over strip to Morris Park av. Dec 4, due Jan 1, 1911, 5%. Dec 6, 1907. 2,500  
Devaney, James J to Lion Brewery. Babcock av, c 1, being plot 26 map Villa Sites at Riverdale, formerly of Jos Rosenthal. 100x106.6x100x132.5. Dec 7, demand, 6%. Dec 10, 1907. 13:3426. 2,000  
Dreyer, Henry F with Chas R Protze and Henry Acker. Morris av, n w cor 161st st, 108.6x irreg x135 to n s 161st st x146.6. Extension mort. Nov 19. Dec 9, 1907. 9:2444. nom  
Dawson Realty Co (Morris Garfinkel and Harry Levin in bond only) to Abraham M Turkeltaub. Wales av, Nos 684 and 686, e s, 118.6 s Dawson st, 46.6x69.9. Dec 10, 1907, 3 years, 6%. 10:2654. 8,000  
Same to same. Same property. Certificate as to above mort. Dec 10, 1907. 10:2654. —  
Ellison, Manierre to Ellen M Lewis. Clinton st, n s, 275 w Grand av, 25x100. Prior mort \$7,000. Dec 11, installs, 5%. Dec 12, 1907. 11:3207. 1,700  
Ferracane, Luigi to East Bay Land & Impt Co. Randall av, s w cor Coster st, 50x100. P M. Dec 12, 1907, 5 years, 5½%. 10:2768. 2,200

Goldstein, Joseph to Mary E Mack. Trinity av, w s, 160.10 s Westchester av and at s s Terrace pl, as on map of Wilton, Port Morris and Morrisania, runs s 348.7 x w 207.4 to e s Park st x n 174.11 to s s Terrace pl x n e 246.5 and 32.10 to beginning. P M. Nov 21, due, &c, as per bond. Dec 9, 1907. 10:2623. 27,500  
Gressard, Adolph to Beadleston & Woerz. 3d av, No 3038. Saloon lease. Dec 6, 1907, demand, 6%. 9:2363. 2,000  
Grief, Mary A to Frederick McCarthy and ano. Faile st, No 891, w s, 200 n Seneca av, 25x100. P M. Prior mort \$4,500. Dec 6, 5 years, 6%. Dec 10, 1907. 10:2761. 2,800  
Heuser, Henry to Fredk Meyer. 150th st, No 531, n s, 200 e Brook av, 25x100. Prior mort \$17,000. Dec 7, 1 year, 6%. Dec 9, 1907. 9:2276. 1,000  
\*Kratz, Antonie to Harry Siegel. Garfield st, w s, 350 s Morris Park av, 25x100, and lots 1041 to 1046 map Laconia Park. Dec 10, 1907, due June 16, 1908, 6%. 400  
\*Kratz, Antonie to Chas R Strong. Garfield st, w s, 255 n Columbus av, 25x100. Dec 10, 1907, 3 years, 5%. 3,000  
Kieffhaber, Ernst to Chas F Dilberger. Prospect av, w s, 233.4 n 183d st, 16.8x95. P M. Prior mort \$5,400. Dec 10, due, &c, as per bond. Dec 11, 1907. 11:3102. 2,000  
Kirchner, August to Henry Ahr. 136th st, n s, 446.1 e Southern Boulevard, 25x100. Dec 7, due, &c, as per bond. Dec 9, 1907. 10:2565. 2,300  
Kramer, Katharina to Antonia Wenzel. 169th st, No 456, s s, 115.7 w Washington av, 25x100. P M. Prior mort \$12,000. Nov 20, 3 years, 6%. Dec 9, 1907. 9:2390. 3,000  
Leonhardt, Minnie to Adam Stiehl. Eagle av, No 919, w s, 100 s 163d st, 25x125. Prior mort \$16,000. Dec 12, 1907, 1 year, 6%. 10:2620. 1,000  
Ludemann, Peter with Antonia Wenzel. 169th st, s s, 125 w Washington av, 25x100. Extension mort. Oct 30. Dec 9, 1907. 9:2390. nom  
Lochinvar Realty Co to Herbert Scoville. Morris av, n e cor Burnside av, 113.9x100x100x100.11. Prior mort \$50,000. Dec 11, 1907, due, &c, as per bond. 11:3178 and 3179. 3,500  
\*Locascio, Maria A to Angelina Bertone. Sheil st, s s, 350 w 5th av, 25x100, Laconia Park. P M. Dec 10, due, &c, as per bond. Dec 11, 1907. 600  
LAWYERS TITLE INS & TRUST CO with Harry M Austin. Bergen av, No 494, s e s, 27.5 n 147th st, 27.5x83x25x94.2. Extension mort. Nov 19. Dec 12, 1907. 9:2292. nom  
LAWYERS TITLE INS & TRUST CO with Joseph E Eron, Robbins av, w s, 175 n 149th st, 75x100. Extension mort. Nov 18. Dec 12, 1907. 10:2623. nom  
Marcus, Rebecca to Jenny Oberworth. Marion av, e s, 125 n Dorothea pl, 50x98.4x41.6x98. Prior mort \$6,000. Dec 6, due, &c, as per bond. Dec 7, 1907. 12:3276. 600  
\*Mirande, Felice to Hudson P Rose Co. Tompkins st, w s, 375 n 152d st, 69.11x—x20.10x100. P M. Sept 19, due Oct 1, 1910, 5½%. Dec 6, 1907. 700  
\*Nilsson, William to Mary A Bahrenburg. 233d st (19th av), n e cor 1st st, 105x114, Wakefield. P M. Dec 5, 3 years, 5%. Dec 6, 1907. 2,000  
\*Neubaus, Lillie with Magdalena Knoll. 241st st, s w s, 50 w Catharine st, 50x100, Washingtonville. Extension mort. Dec 7. Dec 10, 1907. nom  
Nickisch, John H to Five Boroughs Realty Co. Aqueduct av, s s, abt 105.9 w Plympton av, 65.4x57.5x—x58.2. P M. Dec 2, 3 years, 6%. Dec 7, 1907. 11:2875. 3,350  
Same to same. Plympton av, w s, abt 683 s Featherbed lane, 37 x100.3x49x100. P M. Dec 2, 3 years, 6%. Dec 7, 1907. 11:2875. 900  
\*O'Hara, Richard to John B Grattarola and Frank Cavigila. Barker av, e s, 150 s Elizabeth st, 50x125, and being s ½ of lot 63 map of Olinville, No 2. Certificate as to reduction of mort by payment of \$450. Dec 9. Dec 11, 1907. —  
Piser, Susie E to TITLE GUARANTEE AND TRUST CO. 3d av, No 3394, e s, 125 s 166th st, 25x135 to Franklin av, No 1094, x27.6x137, except part for Franklin av, Dec 5, due, &c, as per bond. Dec 6, 1907. 10:2608. 10,000  
Paolillo, Joseph to Lossie Minzie. Courtlandt av, No 578, e s, 49.6 n 150th st, 17x100. Prior mort \$16,800. Dec 9, due June 10, 1908, 6%. Dec 10, 1907. 9:2397. 700  
Roberts, Joseph to Jacob Mendelsohn. Fox st, w s, 116.2 n Home st, 25x59.1x26.3x67. Prior mort \$5,000. Dec 9, 1907, due, &c, as per bond. 11:2974. 1,500  
Reis, Abraham D with TITLE GUARANTEE AND TRUST CO. 3d av, No 3394, e s, 125 s 166th st, 25x135 to Franklin av, No 1094, x27.6x147. Subordination mort. Dec 6, 1907. 10:2608. nom  
Roos, John G, Lillie D and Sophia and Annie A Buckham, Sophia F Young to Emily Roos. Grote st, No 998, late road for Fordham to West Farms, s w s, — e Crotona av, 120.9x196.3x100x128, n w s, except part for st. Dec 4, due Jan 1, 1909, 5%. Dec 6, 1907. 11:3100. 4,000  
Rose, Wm R trus with Wm A Jackson. Vyse av, w s, 50 n 172d st, 25x100. Extension mort. Jan 17, 1902. Dec 11, 1907. 11:2989. nom  
Roseman, Isaac to Amalia Jaeger. Brook av, No 1470, e s, 159.2 n St Paul's pl, 25x100.7. Dec 12, 1907, due, &c, as per bond. 11:2895. 9,000  
\*Schmidt, Carl to Co-operative Building Bank. Bartholdi av, n s, 350 w Pine av, 25x100. Dec 6, 1 year, 6%. Dec 7, 1907. 2,200  
\*Storey, Thos F and Ferdinand Meyer to Fred S Williams exr Susan N Williams. Seminole st, s s, 110 e Eastchester road, 30.9x100x7.10x102.7; also Seminole st, s s, adj lot 152, runs w 3 x s 20 x e 10 x n 24.8 to beginning, being part of lot 151 same map. Dec 6, 1907, due, &c, as per bond. 3,000  
Tierney, Emma F wife Edw to Bronx Security & Brokerage Co. Willis av, s w cor 141st st, 16.8x81. All title. Dec 9, 1907, 1 year, 6%. 9:2303. 500  
Uhlfelder, Simon and Abraham Weinberg with Howard Haviland. Courtlandt av, s w cor 159th st, 48.6x98. Extension mort. Nov 13. Dec 9, 1907. 9:2418. nom  
Upham, Ruth B to Helen J Le Hon. Kingsbridge road, s w s, at n w s Sedgwick av, 30.6x100x71.10x108.5; Kingsbridge road, s w s, 30.6 n w Sedgwick av, 25x100. Dec 9, due, &c, as per bond. Dec 10, 1907. 11:3237. 6,000  
\*Vinciguerra, Andrea to A Shatzkin & Sons (Inc). 216th st, s s, 150 e Tilden av, 50x100, Laconia Park. P M. Dec 2, 1 year, 6%. Dec 6, 1907. 200

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\*White, John to Henry Ludeking. Taylor st, e s, 150 s Morris Park av, 50x100. Dec 4, due June 1, 1908, —%. Dec 7, 1907. Note. 500  
Winterroth, Emil J to Anna M Winterroth. Tiebout av, w s, 183.4 n 180th st, 28.8x95. Dec 3, 5 years, 5%. Dec 12, 1907. 11:3144—3143. 2,350  
Warch, John A to August Knatz. Chisholm st, w s, 125 s Freeman st, 20.2x120. Dec 10, 1907, 1 year, 6%. 11:2970. 1,500

Weisker, Bernard H Jr with Herbert Scoville. Morris av, n e cor Burnside av, 113.9x100x100x100.11. Subordination mort. Dec 11, 1907. 11:3178 and 3179. nom  
\*Workmens Sick and Death Benefit Fund of the U S, with A Shatzkin & Sons. 6th av, n e cor 215th st, 100x100, Laconia Park. Agreement as to apportionment of mort. Nov 20. Dec 6, 1907. nom

### JUDGMENTS IN FORECLOSURE SUITS.

Dec. 5.  
26th st, No 119 West. Irving M Shaw agt The Netherlands Corporation of N Y et al; Fisk & Shaw, att'ys; Frank T Fitzgerald, ref. (Amt due, \$22,253.)  
Willis av, n w cor So Boulevard, 25x115. Franklin Savings Bank agt Henry A Gumbleton et al; Wilson M Powell, att'y; Edmund J Tinsdale, ref. (Amt due, \$11,731.81.)  
Intervale av, w s, 193.10 n Westchester av, 50x100. Chas E Bigelow agt Max Powell; Arthur Knox, att'y; Martin H Murphy, ref. (Amt due, \$3,657.46.)  
Dec. 6.  
117th st, s s, 173 e Pleasant av, runs s 100 x e 25 x s .01 x e 25 x n 100.11 x w 50 to beg. Alice H Sturges agt Raphael Kurzrok et al; Stephen P Sturges, att'y; Joseph Wilkenfeld, ref. (Amt due, \$16,311.62.)  
130th st, n s, 80 w Lexington av, 80x99.11. Harris Mandelbaum agt Isaac Sakolski et al; Eisman, Levy, Corn & Lewine, att'ys; Robert J H Powell, ref. (Amt due, \$11,532.84.)  
Amsterdam av, n e cor 121st st, runs n 191.8 to 122d st, x e 100 x s 191.8 x w 100 to beg. Same agt Solomon Lewine; same att'ys; Henry N Steinert, ref. (Amt due, \$95,351.97.)  
149th st, s s, 100 e 8th av, 40x99.11. Empire City Woodworking Co agt Mayer Hoffman et al; Action 1; J Chas Weschler, att'y; Chas L Hoffman, ref. (Amt due, \$17,136.61.)  
149th st, s s, 140 e 8th av, 40x99.11. Same agt same; Action 2; same att'y; same ref. (Amt due, \$18,044.11.)

Dec. 7.  
121st st, No 230 West. Max Frankenheim agt Mary E Murphy et al; Kantrowitz & Esberg, att'ys; Frederick W Sperling, ref. (Amt due, \$12,426.44.)  
Old Broadway, Nos 2368 and 2370. Selig Littman agt Samuel Solomon et al; M S & I S Isaacs, att'ys; William Klein, ref. (Amt due, \$27,602.26.)  
Lispensard st, No 41, right, title, &c.  
Canal st, s s, 103 e Church st, 24.9x106.2x irreg.  
Anna Woerishoffer agt Sydney W Peoples et al; Carter, Ledyard & Milburn, att'ys; Richard H Clark, ref. (Amt due, \$89,545.)

Dec. 9.  
Grand av, w s, 250 s 180th st, 100x100. Alfred H Marvin agt John H Ross et al; Sidney Nordlinger, att'y; Percival G Ullman, ref. (Amt due, \$12,438.)  
Lots 124 to 126, map 1100, 23d Ward, Josephine Hochbaum agt Mary Mueller et al; P H Goldbaum, att'y; Chas W Dayton, Jr, ref. (Amt due, \$2,379.28.)  
Amsterdam av, w s, 50.11 n 122d st, 40x100. Moses S Lorsch agt Jacob H Horwitz; Max Stern, att'y; Samuel B Pollak, ref. (Amt due, \$13,192.83.)  
133d st, n s, 285 e Lenox av, 50x99.11. David Shaff agt Samuel Zimmer et al; Arnstein & Levy, att'ys; Thomas N Cuthbert, ref. (Amt due, \$14,268.12.)

Dec. 10.  
Morris av, n w cor 164th st, 50x98. New York Mortgage & Security Co agt Thomas A Briggs et al; A Lincoln Wescott, att'y; Richard J D Keating, ref. (Amt due, \$4,635.)  
Brook av, No 1506. Joseph Goldstein agt Moritz L Ernst et al; Parker & Ernst, att'ys; Elihu B Frost, ref. (Amt due, \$20,964.66.)  
73d st, s s, 200 w West End av, 73x102.2x irreg. Mutual Life Ins Co agt Kate L Trenholm et al; James McKeen, att'y; Isaac B Brennan, ref. (Amt due, \$63,925.)  
9th st, s s, 481.2 w 5th av, 25x93.11. Chas W Mix agt Caroline Dilks; Carter & Haskell, att'ys; Alfred C Cox, Jr, ref. (Amt due, \$6,770.57.)

Dec. 11.  
19th st, Nos 332 and 334 West. Rose Schindel agt Morris Goldberg; Lese & Connolly, att'ys; Isaac B Brennan, ref. (Amt due, \$26,309.99.)  
105th st, n s, 320 e 2d av, 30x100.11. Fanny Heilbrun agt Samuel Kadin et al; M Silverstein, att'y; George Rubenstein, ref. (Amt due, \$5,460.)  
49th st, s s, 568.4 w 5th av, 16.4x100.5. Francis W Griffith agt Annie M Scott; Bowers & Sands, att'ys; S L H Ward, ref. (Amt due, \$7,604.16.)  
St Nicholas av, e s, 50 n 184th st, 50x100. Geo W Wickersham agt Maurice Simmons; Strong & Cadwalader, att'ys; Edw W McDonald, ref. (Amt due, \$23,032.48.)  
148th st, s s, 367.6 w Amsterdam av, 15.6x99.11. Daniel J O'Connor agt Wm H Brandt; O'Brien, Boardman & Platt, att'ys; Isaac B Brennan, ref. (Amt due, \$10,550.)  
115th st, No 77 East. Mariamne Rosenzweig agt Annie Silver et al; Joseph Rosenzweig, att'y; Chas J Leslie, ref. (Amt due, \$8,638.94.)  
Vyse av, n w cor 179th st, 120.9x100. Baptist Ministers Home of N Y agt Charles Welch et al; Action 1; C C Ferris, att'y; Chas S Brand, ref. (Amt due, \$10,238.39.)  
179th st, n s, 100 w Vyse av, 115.5x128. Same agt same; Action 2; same att'y; same ref. (Amt due, \$8,191.11.)  
179th st, n s, 215.5 w Vyse av, runs n 128 x w 116.6 to Daly av, x s 132.1 x e 101 to beg. Same agt same; Action 3; same att'y; same ref. (Amt due, \$11,262.78.)

### LIS PENDENS.

388 TENEMENT HOUSE LIS PENDENS.

Dec. 7.  
Columbus av, w s, 51.2 n 80th st, 26.6x100. Aldine Mfg Co agt John H Feldscher et al; action to foreclose mechanic's lien; att'y, J C Lenney.  
117th st, No 332 East. Louis Merolla agt Margaret Lane; action to enforce vendee's lien; att'ys, Strasbourger, Weil, Eschwege & Schallack.  
Dec. 9.  
Washington av, — s, lot 37, map of Olinville, Bronx. Frank P Tofano agt Anna Thompson et al; specific performance; att'y, R Hickox.  
Broadway, s e cor 62d st, 116.2x88.3x100.5x146.8. Pittsburgh Plate Glass Co agt Ella V Von E Wendell et al; action to foreclose mechanic's lien; att'y, S G De Kay.  
Dec. 10.  
Courtlandt av, No 808. Emma C Junge et al agt Anna D King et al; partition; att'y, O E Davis.  
156th st, s s, 317 e 11th av, 16x99.11. Franklin Provost agt Fannie M Lathrop; action to enforce vendee's lien; att'y, B L Peck.  
30th st, Nos 208 and 210 West. Chas E Hess agt Chas F Bauerdorf et al; action to impress vendee's lien; att'ys, Wentworth, Lowenstein & Stern.  
Lots 41, 42 and 43, map of Lester Park, Williamsbridge. Anna Moran agt Jeremiah J Moran et al; action to compel conveyance; att'y, A J Adams.

Dec. 11.  
18th st, n s, 152 e 8th av, 26x63x26x60.  
18th st, n s, 225 w 7th av, 25x92.  
Property in Rockland county.  
Annie A Sinn agt Chas E Ackerman et al; partition; att'y, G W McAdam.  
Lots 27 to 33, Sec 3 of Edenwald, map 393, Bronx. C F Jonasson & Co agt Isaac Gold et al; action to declare lien; att'y, C P Caldwell.  
Worth st, No 121. Winifred F Harding agt Eva K Conlon et al; action to declare deed void; att'y, L S Goebel.  
Lot 140, map of property of Maria Shady, deceased, in Kingsbridge. Price S Howard agt Paula V Howard; partition; att'y, J F Egan.  
42d st, No 526 West.  
42d st, s s, 278.9 w 10th av, 39.2x98.9.  
Bernard Greenwood agt N Y Kindergarten Ass'n; action to foreclose mechanic's lien; att'y, R W Bernard.  
115th st, s s, 320 e 1st av, 41x100. Roman Realty & Construction Co agt Realty Mortgage Co et al; action to set aside mortgage; att'y, A J Oisheil.  
86th st, No 111 West. Eric Sodergren agt Albert Hirsch; action to declare lien; att'ys, Marks & Wielar.

Dec. 12.  
34th st, n s, 60 w 7th av, 15x76.1. Thomas C T Crain agt Gustave Ury; action to recover possession; att'ys, Clarke & Clarke.

Dec. 13.  
Webster av, w s, 21.10 s 171st st, 100x54.7x100x64.2. Security Mortgage Co agt Charles Bjorkgren; specific performance; att'ys, Fletcher, McCutchen & Brown.  
Harrison st, e s, 80.4 n Davis st, 50x100. Luigi Avitabile agt Maria Nocita; specific performance; att'y, J H Corn.  
214th st, n s, lot 62 map of New Village of Jerome, 25x100. Walter Tinagero et al agt Antonio Lamberti et al; action to enforce mechanics lien; att'y, D S Decker.

### FORECLOSURE SUITS.

Dec. 7.  
9th av, w s, 100 s 56th st, 16x100xirreg. Peter Doelger agt Bernard Connolly et al; att'ys, Amend & Amend.  
84th st, Nos 158 to 162 East. Three actions. Jacob T Hildebrandt agt Matthew F Mulvihill; att'ys, Wentworth, Lowenstein & Stern.  
148th st, n s, 249.10 w 7th av, 37.5x99.11. Simon Batd et al agt Jennie Rosenthal; att'y, S Nordlinger.  
122d st, n s, 175 w 1st av, 50x100.11. Hyman Schnitzer agt Simon Weiss et al; att'ys, Marx & Freyer.  
122d st, s s, 100 w Amsterdam av, 100x95.11x irreg. Thomas J Morrow agt Isaac Huppert et al; att'y, J C Weschler.  
146th st, No 269 West. Wilson M Powell et al agt Joseph Kaufmann et al; att'y, W M Powell.  
146th st, No 265 West. Kate V Barnum agt same; att'y, W M Powell.  
99th st, No 262 West. Casimir C Patrick agt Saint Nicholas Dome Co; att'ys, Kelley & Connolly.

Dec. 9.  
145th st, n s, 100 w 7th av, 130x99.11; three actions. The Mutual Life Ins Co of N Y agt Fleischman Realty & Construction Co et al; att'y, J McKeen.  
146th st, No 267 West. Charles Griffen et al agt Joseph Hoffman et al; att'y, W M Powell.  
146th st, Nos 271 and 273 West; two actions. Mary W Pell agt Joseph Kaufmann et al; att'y, W M Powell.  
95th st, n e cor Riverside drive or av, 173.5x

108.8xirreg. The Maple Realty Co agt Geo W Levy Building Co et al; att'ys, M S & I S Isaacs.  
135th st, n s, 335 e Lenox av, 37.6x99.11. Pinus Lowenfeld et al agt Hyman Horwitz et al; att'ys, Arnstein & Levy.  
Dec. 10.

165th st, s s, 180.5 e 10th av, 20.2x53.8x irreg. Parcel of land beginning at a point 180.5 e Amsterdam av, and 105.10 n 164th st, runs n 46 x e 19.6 x s 43.11 x w 19.6 to beg. John Murray et al agt Geo H Epstein et al; att'ys, J V McAvoy.  
Amsterdam av, e s, 53.5 s 185th st, 26.6x100. Amsterdam av, s e cor 185th st, 26.1x100. Harriet D Wolryche-Whitmore agt Louis Meryash et al; att'ys, Van Wyck & Mygatt.  
Amsterdam av, e s, 26.11 s 185th st, 26.6x100. Douglas Robinson et al agt Louis Meryash et al; att'ys, Van Wyck & Mygatt.  
Bathgate av, s w cor 184th st, 35x94.1. Theodore Wentz agt Chas A Edwards et al; att'y, H Swain.  
Manhattan av, n w cor 103d st, 17.7x75. Stephen H Davenport agt Clara R Lapham; att'y, F G Wild.  
184th st, n s, 49.9 e Davidson av, 16.3x80. Emma Weber agt Nita Walker et al; att'y, C A Hitchcock.  
21st st, s s, 320 w 5th av, 50x92. Harry Content agt 21st Street Building & Construction Co et al; att'ys, Hirsch, Scheuerman & Limberg.  
140th st, No 877 East. Fleischmann Realty & Construction Co agt Robert Rosenthal et al; att'ys Hays & Hershfield.  
148th st, n s, 299.2 w St Ann's av, 37.10x84.9. William Henne agt Emma M S Mestaniz et al; att'ys, Lese & Connolly.

Dec. 11.  
Union av, w s, whole front between 158th and Westchester av, runs w 113.11 x s 50 x e 101.6 x n e 18.6 x n 36.3 to beg. Joseph Schwartz agt Max H Newman et al; att'y, C H Friedrich.  
Ridge st, No 33, and right, title, &c, to lot of land adjoining on the w s, premises described. Maiden Lane Savings Bank agt Henry Eckhardt et al; att'ys, Olcott, Gruber, Bonynge & McManus.  
151st st, n s, 150 e Broadway, 75x— to 152d st. Scheer Ginsberg Realty & Construction Co agt Charles Lowe et al; att'y, M H Hayman.  
Walton av, e s, 47 n 183d st, 50x100. Nelson Smith agt Sarah B McAdam et al; att'y, N Smith.  
95th st, s s, 250 w 1st av, 50x100.8. Jared W Bell agt Abraham Lipke et al; att'ys, Bowers & Sands.  
Cherry st, Nos 87 to 91. Business Men's Realty Co agt Charles Lowe et al; att'y, A Nelson.  
128th st, s s, 277.6 e Lenox av, 20x99.11. Sara Van Buren Meer agt Anna F Haendle et al; att'y, J H Henshaw.  
125th st, No 257 East. Hayman Stoff agt Harry M Stoff et al; att'ys, Jones & Neuburger.  
97th st, No 104 East. John J Mahony agt Eliza W Rose et al; att'y, D P Mahony.  
146th st, n s, 175 e 8th av, 50x99.10; two actions. Jacob Schlosser agt Benjamin Light et al; att'ys, Davis & Kaufmann.  
Glebe av, w s, 594 n Westchester Turnpike, —x—. Patrick Keirns agt The Colorado Realty Co et al; att'y, I Newton Williams.

Dec. 12.  
96th st, n s, 300 w West End av, 100x100.11, excepting parcel of land beg at a point in centre line of block between 96th and 97th sts, 300 w West End av and 100.11 n 96th st, runs w 58.11 x s 5.11 x e 58.11 x n 5.11 to beg. Joseph R Buckley agt Robert T Lyons et al; att'ys, Roby & Taylor.  
3d st, No 9 East. Harry Goldstein et al agt Barnett Levy et al; att'y, L Schafman.  
Amsterdam av, s w cor 180th st, 25x100. Louis Bernstein agt William Rosenzweig Realty Operating Co; att'ys, House, Grossman & Vorhaus.

Dec. 13.  
Macy pl, s s, 50 w Hewitt pl, 25x94.9. John L Varick agt William Wainwright et al; att'ys, Harris, Corwin, Gunnison & Meyers.  
116th st, n s, 248 e Pleasant av, 100.10x125. Gamaliel C St John exr agt David G Ludins et al; att'y, J W Hawes.  
Thompson st, No 58. Einar Christy agt Jennie S McKay et al; att'y, F W Wright.  
Park av, e s, 74 s 109th st, 26.11x76. Katharine Vetter agt Adolf Miller et al; att'y, C Schwick.  
Belmont av, w s, 229.1 n 181st st, 24x83. Mary Rushton agt Theresa Rafer et al; att'y, A Knox.  
Broadway, s w cor 152d st, 99.11x150; two actions. Jennie Weill agt Unique Realty Co et al; att'ys, Kantrowitz & Esberg.  
100th st, s s, 210 w Central Park West, 40x100.11. Louis Golde agt Emma Jacobs et al; att'ys, Manheim & Manheim.  
122d st, n s, 143.7 w 2d av, runs n 95.6 x n e — x e — x s 100.11 x w 14.6 to beg and right, title, &c to gore lot in rear. Laura C Crane agt Margaret Schneider et al; att'ys, Crane & Lockwood.  
Carriageway, running from 20th to 21st sts, e s, 39.5 s 21st st, 83.5x82.11. John J Gorman agt Augusta Siebold et al; att'y, F M Patterson.  
Audubon av, s w cor 189th st, 99.11x100. City Real Estate Co agt Joseph Wilkenfeld et al; att'y, H Swain.

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appliances may be seen at our offices**GAS COOKERS**

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**GAS HEATERS**We Rent a  
Gas Range**\$3**  
Per Year**CONSOLIDATED GAS COMPANY OF NEW YORK****JUDGMENTS.**

In these lists of Judgments the names alphabetically arranged and which are first on each line, are those of the judgment debtor. The letter (D) means judgment for deficiency. (\*) means not summoned. (f) Signifies that the first name is fictitious, real name being unknown. Judgments entered during the week and satisfied before day of publication, do not appear in this column, but in list of Satisfied Judgments.

The Judgments filed against corporations, etc., will be found at the end of the list.

Dec.	
7	Arnowitz, Solomon—N Y Telephone Co. 51.35
7	Arnheim, Ludwig—Julius Lewine 344.22
9	Ackerman, Lillie—N Y Telephone Co. 49.25
10	Abbate, Joseph—N Y Telephone Co. 43.27
10	Abrams, Treadwell W—Kenneth H Nichols 1,192.79
10	Albert, Morris—Old Dominion Steamship Co. 268.35
10	Applebaum, Philip—Edw R Biehler 235.33
10	Allen, Oliver H—Richard M Colgate et al. 217.48
11	Ardleigh, Hugh—Edouard Inc 51.90
11	Abelsky, Jacob—Moses J S Abels 317.15
11	Almond, Daniel—H Mueller Mfg Co 122.24
12	Atwater, Granger S—Anna B Sherman 100.56
12	Almond, Daniel—Schrattwieser Fireproof Construction Co. 163.21
12	Avallone, Constantine—Louis Stoker et al. 111.81
12	Allen, Oliver H—Bliven & Carrington 250.78
12	Anhalt, Simon—Louis Waxman 29.41
12	Anderson, Carl—Duval & Co 91.72
12	Abraham, Joseph—Samuel Diamond 468.37
13	Allen, Dell B—John J Hoefelder 48.79
13	Anderson, Robert L—Benjamin Jacobs et al. 28.75
13	Auspietz, Martin W—Frank Becker 330.67
13	Arnold, Aaron—Louis Krinsky 268.81
13	Applebaum, Henry—Geo E Sealy 204.22
7	Beckman, Harris—Bernard Kreger et al. 71.31
7	Berliner, Julius—N Y Metal Covered Door Co 114.60
7	Berman, Samuel—Geo F Moore Inc 459.13
7	Bacher, Julius—Julius Lewine 334.22
9	Browne, Grant H—Sovereign Bank of Canada 1,199.44
9	Brice, Stewart M and Jane—Abraham Chopak 98.61
9	Baldwin, Harry—Walter Benney 55.26
9	Bush, James J—Merchants National Bank of the City of N Y 3,359.38
9	Banker, Garret N—Fred Bowes et al. 43.30
9	Bigler, Mrs Mary—Charles Gunther 54.15
9	Boffa, Donata—People & Co 1,500.00
10	Badoloto, Antonio—People, & Co 500.00
10	Borak, Leon—N Y Telephone Co. 35.51
10	Blick, Israel—Morris Politziner et al. 31.15
10	Barrow, Ira—Walter K Hadley 300.00
10	Buzzi, Antonio—Salvatore Tubbiolo 357.04
11	Bernius, Chas T—Isaac M Heller 153.72
11	the same—Edw F Miller 32.60
11	Broc, Victor H—Madeline Duchatellier 195.08
11	Barse, Mills W—A McArthur et al. 12,575.64
11	*Baum, Max—Max Zwerdling 221.31
11	Berman, Philip—the same 221.31
11	Birdsall, Harold F—N Y Telephone Co. 28.26
11	Bronstein, Chas A—the same 130.66
11	Barwise, Richard M—the same 21.94
11	Bauer, Fay—the same 39.04
11	Brown, Lizzie—the same 31.55
11	Bernikow, Abraham—Louis A Rossowag 12.65
11	Bartle, Wm A—Jaros Co 66.91
11	Bock, Jacob—Louise F Swanney 703.10
11	Block, Ernest* and Justin—E Argenti et al. 1,032.54
11	Baum, Nathan—Frank Crawford 150.61
11	*Bonner, Thomas V—the same 150.61
11	Bergman, Walter—Morris Amster et al. 150.76
11	Brufenfeld, Israel—Carl Callmann 86.67
11	Binswanger, Morris—Arthur C Krings 45.66
12	Block, Joseph—Charles Lebenstein 29.60
12	Boyd, Gilbert R—Williamsport Radiator Co 641.83
12	Barnes, George—Van Nest Woodworking Co. 41.07
12	Besson, Camille—Frederick A Lambert et al. 49.25
12	*Berman, Samuel—Samuel Lemkin 1,451.07
12	Barwis, Elizabeth—Edw H Pinkham 21.65
12	Beckelman, Harris—Herman Rappaport et al. 169.41
12	the same—Heyman Denker et al. 169.41
12	Bos, Marius F—Scientific Am Compiling Department 105.03
12	Barnoffsky, Louis—Dry Dock, East Broadway & Battery R R Co 67.88
12	Bailey, Emma J—Selah B Strong 713.24
12	Brown, A Fred—Oppenheim, Collins & Co, N Y 125.24
12	Burns, Zenas—Breslin Hotel Co 35.47
12	Brucker, Eugene—Albert L Silberstein 40.72
12	Bahr, Henry D—Wm Flynn 200.00
12	Beere, James B—Theodore W Myers 634.74
12	Bensinger, Eleanor and Benj E—Joel B Erhardt ext 141.47
12	Berkson, Wm F and James—Henry Klinger 78.14
12	Bennett, Mary A—D Appleton & Co 69.72
12	Blank, Marco J—New Netherlands Pub Co 61.72
13	Bamberger, Emanuel—Joseph F Taylor et al. 100.81
13	Breger, Benjamin—Sol Harris 84.84
13	Barron, Jacob—Jacob Rod 17.65
13	Bennett, Harry N—Wm Loughlin 25.55
13	Beckelman, Harris No 1—Chas L Kanofsky 161.90
13	the same No 2—the same 161.90

7	Colucci, John S—Kingan Provision Co. 359.28
7	*Coffey, John—the same 359.28
7	Compton, Charlotte—People & Co 50.00
7	Corley, Peter—Moritz L Ernst et al. 29.31
7	Cammerer, Alfred A—Benjamin Altman et al. 162.22
7	Crow, Wm L—Michael McGowan 844.94
9	Corrigan, Hugh—Joseph Glennon costs, 106.85
9	Creasey, Susie, gdn—Union Ry Co of N Y City costs, 108.88
9	Cross, Albert H—Arthur M Bullowa 19.49
9	Collins, Anna F—Nicholas Anson et al. 33.91
9	Cooper, Hene—Samuel Joseph et al. 105.42
9	Cohan, Philip J—Joseph K Parker 30.31
9	Cavanaugh, Joseph E—Frank A Bryant 43.44
9	Crump, Charles—City of N Y 203.50
9	Colyer, Smith C—the same 408.34
9	Crawford, David O—the same 213.41
9	Carton, Andrew B—the same 111.05
9	Cross, Samuel B—the same 570.25
9	Carney, Luke—National Fireproofing Co. costs, 23.03
9	Conway, Wm E—Geo B Glover 687.65
9	*Chenkin, Bernard—Harry Freeman 138.44
9	Chickow, Israel—Brown Forman Co 168.80
10	Cotton, Wm J—Lucille Shering 147.91
10	Same—Met Printing Co 88.90
10	Cahn, Charles—Rudolph Fixel 47.27
10	Cohen, Jacob—Eugene Higgins 265.97
10	Cohen, J Quintus, trustee—Am Surety Co of N Y costs 49.02
10	Cohen, Jacob—Eugene Higgins 25.09
10	Cohen, Harry—Henry Wald costs 86.37
11	Crane, Robert D—N Y Telephone Co. 38.29
11	Clark, Julia T—the same 64.30
11	Cohen, Harris—the same 36.85
11	Cook, Harry E—the same 60.90
11	Capsopoulos, Pythagoras C—the same 38.78
11	Cerra, Antonio—the same 65.22
11	Carberry, Thomas F—the same 44.44
11	Colwell, Henry S—Edw W S Howard 222.60
11	Cohen, Temy—Isaac Silberberg costs, 27.41
11	Caullet, John J—Saul S Myers 220.21
11	Callas, Nicholas—Auguste L Louis 639.43
11	Cumisky, Terence, gdn—Cornell University costs, 121.64
11	Chadwick, Frances—Waldorf Steam Laundry Co costs, 61.21
11	Chapin, Wm D—Thomas M De Laney 93.31
11	Collins, Daniel—People & Co 1,000.00
11	Cuff, William—the same 1,000.00
12	Cubert, Jacob—Louie Segal 35.63
12	Crosby, James B—Van Nest Woodworking Co 96.46
12	Cuyler, Selamon—Henry Glenney et al. 183.41
12	Cutter, John L—Leon Lawrowitz 84.31
12	Comyns, David J—Joseph Jordan et al. 128.16
12	Cobb, Louise—Richard J Hickson 168.15
12	Carlo, Joseph gdn—Terrence Montague costs, 23.08
12	Coundouris, Spiro—Constantine S Galanopulo 455.47
12	Canokos, Panos—Auguste L Louis 330.12
12	Charlton, James H—United Electric Light & Power Co 189.60
12	Congdon, Stewart H—John R Corbin Co. 4,437.32
7	Doris, Edward—Steinhardt Bros & Co. 10.00
7	Daniels, S—Julius Lewine 334.22
7	David, Alfred—Cologero Faranda et al. 1,101.10
9	Douglass, Ira E—Otto L Sherer 377.54
9	Di Sesa, Donato—People & Co 1,500.00
9	Dietrich, Joseph—City of N Y 213.41
9	Daly, Thomas J—Homan H Beals 208.78
9	Dolan, John D—Benj F Meyer 41.71
9	Drennon, John W—N Y Telephone Co. 51.90
9	Delgado, Jose G—the same 79.40
9	Dinkelspiel, Henry—the same 23.19
9	De Carlo, James—Mayer Bros Co 135.02
9	Duryea, Chas M—Ellen McGlynn 1,233.38
9	Danneman, Charles* and John—Butler Bros 112.81
11	Dresser, Daniel Le Roy—Archibald S White 4,890.97
12	Dougherty, John J—N Y Telephone Co. 29.01
12	Dalton, Ernest—D Frank Parker 488.69
12	*Dougherty, Edw N—Joseph Jordan et al. 128.16
12	Deegan, Luke—Hollywood Co. 211.91
12	Dougherty, John—D C Weeks & Son costs, 118.18
13	Downes, Daniel—Michael McDonald costs, 80.37
13	Dillon Foster—Martin Kramer 44.51
13	Dukoff, Harris—Paul E Hunter 54.40
13	Duvigne, Pierre—Henry M Toch et al. 227.37
13	Deiter, George—Abraham Grunberg 70.59
9	Engel, Samuel—City of N Y 213.41
9	Elliott, Edgar H—the same 213.41
9	Elias, Abraham—Morris Politziner et al. 51.05
9	Erskine, Archibald—Chas G Becker et al. 37.99
11	Eidlitz, Chas L—Thomas J Murphy 4,947.75
11	Erlacher, George—Chas T Green 99.31
11	Eitelberg, Harry—N Y Telephone Co. 30.34
11	Eltz, Nathan—Nathan Topitzky 151.74
11	Eckert, Katherine H—George Weaver et al. costs, 101.70
7	Freeland, Chas E—Pabst Brewing Co. 123.89
7	Friedman, Samuel—Cologero Faranda et al. 1,101.10
9	Feigensohn, David—Isidor Schwartz 114.45
9	Frank, Frederick—City of N Y 213.41
9	Fitzpatrick, Edw W—the same 213.41
9	Fernandez, Modesti—the same 213.41
9	Flurri, Morris—Charles Citrim 114.05
9	Fluri, Geo V—Melanie Huntley costs, 104.29
9	Ferro, Charles—People & Co 1,500.00
9	Frank, Abraham—Ferdinand Munch Brewery 105.50
10	Filtner, Wm H—Emma R Thomson 2,275.95
10	*Fleischer, Max—N Y Telephone Co. 30.52
10	Friedrich, Bertha—Hungarian Restaurant Co. costs 32.41
10	Finkelstein, Jacob—Solomon Kaplan et al. 1,247.04
10	*Foster, Florence S—A Hirsh & Co. 355.72
10	Friedenberg, Solomon—Louis A Solomon costs 60.72
11	Freedman, Bernard and David S* and Edward—Morris Weiss et al. 367.57
11	Finkel, Morris—Ezekiel Lifshitz 34.90
11	Fowler, Geo H—Edouard Charrot 172.25
12	Fueher, Anna—N Y Telephone Co. 30.91
12	Fleissner, Emanuel H—Nathan Feinberg 29.41
12	Fireman, Samuel—Nathan Topitzky 53.06
12	Friedman, Abraham—A L Jaffe 314.40
12	Friedman, Alexander—Met St Ry Co costs, 22.78
13	Foot, John C—Katherine E Mills 178.50
13	Friedrich, Bertha—Interborough Rapid Transit Co costs, 107.88
13	Favilla, Nicola & Guiseppi—Louis Handel 120.71
13	Flygare, Chas G—Edw C Van Glahn et al. 316.43
13	Finkelstein, Louis* & Joseph—Jerome E Bates et al. 81.32
13	Fitzgerald, Ida M—Robinson Clay Product Co 126.26
13	Flogel, Henry F—N Y Edison Co 91.11
13	Fast, Hyman—Isaac Bernstein 426.72
13	Falkenheim, Charles—C Albert Jacob 239.73
7	Goodman, Sadie—N Y City Ry Co costs, 67.88
7	*Greenberg Max—N Y Metal Covered Door Co 114.60
9	Greenspan, Morris M—Interborough Rapid Transit Co costs, 67.88
9	Gassner, Leopold—Morris T Pfaelzer 1,030.69
9	Gilmore, Barney—Richard K Fox 159.17
9	Geilich, Abraham—Herman Horenburger et al. 153.40
9	Goodman, Abraham—the same 153.40
9	Geilich, Abraham—Chas M Straub 162.15
9	Girshel, George—Edmund J Curry 74.45
10	Glazer, Frank—Old Dominion Steamship Co costs 268.35
10	Grant, Donald—City of N Y costs 85.15
11	Greenberg, William—Albert J Seligsberg et al. 201.72
11	Ginsberg, Max—Gude Bros 67.74
11	Gross, Otto J Jr—Campbell Supply Co 350.28
11	Gruber, Henry—John L Sudask 75.90
11	Grauber, Louis—Emil Reibstein 101.56
11	Germansky, Max—Jacob H Gredinger 84.72
11	Gardner, Wm J—Henry Kaim 1,000.64
11	Gray, Frank H—National Alumni 93.12
11	Gottlieb, Samuel—Max Zwerdling 221.31
11	Grossman, Samuel—James Beggs & Co 67.73
11	Gussman, Samuel—the same 440.85
12	Green, Thad K—John O'Neill 82.03
12	Gault, John H—N Y Telephone Co. 42.68
12	Gunter, Chas A—the same 43.70
12	Gray, Mary E—the same 30.35
12	Gollubrei, Adolf Mc—Mercantile Printing & Stationery Co 95.52
12	Gravely, James B—Thomas P Spencer 135.29
12	Gibbons, Chas De N—Philo P Safford 536.10
12	Goldberg, Harris—Interurban St Ry Co costs, 67.88
12	Golod, Kassell—Hyman Glick et al. 240.73
13	*Goodwin, Minnie N—Hans J Crenz 214.41
13	Goodwin, John A—the same 214.41
13	Grassberger, Frank J—Am Condiments Co 36.41
13	Green, Ralph—United Electric Light & Power Co 26.65
13	Gillies, Geo M—Edw O Schernikow 4,150.96
13	Greenway, Gilbert C—John J Dougherty 1,007.45
13	Gasau, Fred—State Board of Pharmacy 88.88
13	Goldman, Rosie—Henry Arnstein costs, (D) 12,268.43
7	Heidingsfelder, Philip—N Y Telephone Co. 30.28
7	Herrenschmidt, Gustav—the same 65.01
7	Hertz, Harry—the same 76.16
7	Handsman, Jacob—the same 45.57
7	Hart, Joseph D—the same 20.78
7	Hosie, Florence—the same 49.03
7	Hawkins, Geo W—the same 22.09
7	Hussa, Theodore F—the same 92.00
7	Hoar, Wm A—the same 30.17
7	Horton, Mortimer S—the same 67.53
7	Hawthorne, Ada—Leonard S Rau 165.99
7	Hyman, Jacob—Louis H Levin 538.22
7	the same—the same costs, 27.72
9	Hicks, Richard H—Mary E Kent 261.41
9	Harstn, Alfred L—Jacob Markowitz 113.24
9	Hoffman, Meyer—M D Williamson Co. 70.38
9	Hoffman, Meyer and Isaac—the same 203.89
9	Hettesheimer, William—Richard P White 1,057.44
9	Hill, Irving L—Theresa Kleinberger 141.65
10	Hagenah, Gustav—Chris Evers et al. 84.07
10	Haines, Samuel B—Guiseppi Macardo 5,468.61
10	Hoes, Wm M, admr—Clara Blumert 829.60
10	Hoffman, Theodore—Chas H Randall 90.81
10	Held, Isidore W—Carl Graham 39.41
10	Hill, Nicholas—Jacob Dold Packing Co. 19.37
10	Hartens, Henry—N Y Telephone Co. 103.62
10	Holmes, Henry W—the same 30.52
10	Hagelneide, George—the same 89.01
10	*Halberin, Julius, Louis and Jennie—Regina Blitz 254.70
10	Hudson, Henry E—City of N Y 388.41
10	Healy, Michael—the same 203.50
10	Howard, Dayton—the same 115.88
10	Hellersegers, William—the same 213.37
10	Hirschberg, Julius—the same 1,128.05
10	Hutchinson, James M—Frank J Price 186.15
11	Heins, Minna—Joseph Seeman et al. 213.95
11	Horowitz, Herman—Joshua Joseph et al. 148.71
11	Hodgkins, Judson J—Alphonse Hogenauer et al. 94.31
11	Hurwitz, Abraham—James Beggs & Co. 67.73
11	the same—the same 440.85
12	Hoffman, Mayer—N Y Telephone Co. 73.18
12	Hanlon, John R—the same 41.40

# DENNIS G. BRUSSEL

## ELECTRIC

### WIRING AND APPARATUS

The Brussel Method of electric light and power wiring secures to the owner an absolute guarantee against any defects.

Interior Telephones, Pumps, Elevators Installed  
15 West 29th Street, N. Y.

12 Hart, Grace—John H Woodbury Dermatological Institute .....	67.96	12 Laducca, Santo—John M Dempsey et al .....	108.18	9 O'Hare, Catherine—Jacob Doll .....	23.08
12*Hartjens, Henry—American Exchange Cigar Co. ....	82.22	12 Lynch, Fannie G—Morris J Gordon et al .....	1,423.12	9 Offchinkoff, Israel—Interurban St Ry Co. ....	67.88
12 Horowitz, Harry—Louis Cohen .....	234.87	13 Leventhal, Hyman—the same .....	24.50	10 O'Toole, John L—N Y Telephone Co. ....	28.36
12 Hillman, Alexander—B S Auslander .....	151.84	13 Linke, Francis—the same .....	20.50	11 Oliver, Renda L—Carrie N Richards .....	136.91
13 Hollister, Geo C—John J Dougherty .....	1,007.45	13 Le Gendre, Clarence F—the same .....	21.82	11 O'Brien, John—James Malloy et al .....	2,137.94
13 Hansen, Charles—Max Bartos .....	48.25	13 Levin, Morris—the same .....	39.87	11*Ohnmus, Frank—Thomas Stokes et al .....	152.56
13 Hirsch, Simon—N Y Edison Co .....	37.61	13 Lewinthan, Louis—the same .....	49.81	12 O'Neill, James—Louis A Sable .....	198.47
13 Hallett, Chas H—Edw H Hallett .....	35.33	13 Leonard, Wm C—the same .....	26.71	12 Oatman, Frederic A—Samuel M Schwab, Jr. et al possession of property and .....	4,562.82
13 Horvath, Sigmund—Wm Rawling .....	32.31	13 Lawrence, John W—the same .....	37.27	13 O'Brien, Kennedy—N Y City Ry Co. ....	108.88
13 Hittesheimer, William—Louis Bossert et al .....	(D) 7,948.40	13 Ludwig, Max—Philip H Patriarche .....	28.80	13 Osborne, Wm H—Amandus J Holben .....	468.22
13 Howard, Arthur P—Edw A Leavy .....	2,267.47	13 Lee, Mary—N Y Edison Co .....	14.43	13 the same—the same .....	27.41
13 Holland, Geo M—Joseph C Israel .....	40.11	13 Lisner, S Geo—Abraham C Weingarten et al .....	174.17	9 Pitney, Chas F—Geo P Merryman .....	495.59
13 Harsten, Alfred L—Wm Heaslip .....	163.00	13 Lemelson, Joseph—Wm R Lowe .....	389.72	7 Prudovsky, Jacob N—Geo F Moore Inc .....	459.13
10 Israel, Henry M—Thomas J McAvoy et al .....	373.77	13 Loebe, Charles—J C Bogart Co .....	275.78	9 Perlman, Abraham—Frank Welden .....	165.71
13 Ishikawa, Bungiro—Max Brock .....	59.72	13 Lake, Wm H—Edw C Van Gahen et al .....	316.43	9 Prensky, Samuel—Jacob Levy .....	359.15
7 Jame, Isidory—N Y Telephone Co .....	51.35	7 Mayor, John—M N Clement .....	600.00	9 Pucci, Antonio G—City of N Y .....	1,605.41
9 James, Morgan T—Ferdinand W Geiler .....	223.76	7 Marx, Felix—Benjamin Schwartz .....	32.86	9 Piatello, Arsilla—Rosa or Rosina San Domenico et al .....	27.72
9 Jacobson, Morris A—Martin Schreier .....	62.41	7 Miller, Samuel—Cologero, Farando et al .....	1,101.10	9 Principali, Thomas C—Barbara Kahn .....	72.98
9 Janowitz, Julius—Bessie Strasburger et al .....	127.10	9 Melville, Geo W—John H Flagler .....	114.03	9 Pomarici, Camillo—the same .....	72.98
10*Jorrich, Max—Samuel Sass .....	132.82	9 Macalpine, John H—the same .....	114.03	9 the same—the same .....	189.39
10* the same—John C Orr Co .....	377.79	9 Meryash, Louis—N Y Metal Covered Door Co .....	215.90	9 Platzter, Max—Louis Lamchick et al .....	68.31
10 Jewell, Walter H—City of N Y .....	758.22	9 McKennan, Mary—A A Evans et al .....	42.35	10 Percy, Wm F—the same .....	44.94
10 Jaulus, Albert—Meyer Rensnick .....	354.17	9 Moriarty, Thomas—James Lawlor .....	74.78	10 Palmer, Geo E—the same .....	116.32
10 Johnson, Elizabeth—G F Richardson .....	176.81	9 Marus, Louigi—Westchester Electrical R R Co .....	108.88	10 Pearsall, Chas A—the same .....	30.52
12 Johnson, Louisa—N Y Telephone Co .....	22.00	9 Meister, Wilhelm—Union Ry Co of N Y City .....	108.88	10 Perelson, Lazarus—Leon Stand .....	163.26
12 Joseph, Edward—the same .....	47.49	9 Metzger, John L—City of N Y .....	408.34	10 Paul, Wm C—A H Hirsch & Co .....	355.72
13 Johns, John—John J Hofelder .....	48.65	9 Mengali, Eugenia—the same .....	213.41	10*Pifankowsky, Thomas—Morris Rosenzweig .....	36.96
13 Jackson, Harry A—Alfred David .....	274.72	9 Mullon, Frank—the same .....	213.41	10* the same—the same .....	32.40
7 Kantowitz, Sam—Morris H Bernstein .....	115.21	9 Megroz, Louis—the same .....	213.41	11 Pearlman, David—Louis A Rossway .....	12.65
7 Kelly, Wm J—N Y Telephone Co .....	35.19	9 Meyer, Louis A—the same .....	213.41	11 Packtman, Meyer—Moses J S Abels .....	317.15
7 Kraus, Oscar—Steinhardt Bros Co .....	400.94	9 Mullon, William—the same .....	213.41	12 Prudovsky, Jacob—Samuel Lemkin .....	1,451.07
9 Korn, Simon—Max Goldstein et al .....	113.62	9 Milechich, Joseph, adm—Gas Engine & Power Co et al .....	23.08	12 Presutli, Nicholas—Alessandro Tarantino .....	173.11
9 Kussy, Sigmund—Herman Fuld et al .....	113.22	9 Meyer, Frederick—Park Co .....	23.08	13 Pincus, Samuel—Ana Dudick .....	82.65
9 Kurtzman, Chas S—George Korn .....	48.29	9 Muller, Rose—Benj F Luyster .....	108.95	13 Polard, Joseph F—Japanese Fan Co .....	342.51
9 Kaskee, Henry C—Harry E Davies .....	48.49	9 Morris, Aaron—Park & Tilford .....	101.07	13 Pigneron, Geo H—N Y Edison Co .....	95.21
9 Keeler, Geo E—N Y Telephone Co .....	28.36	10 Mendel, Solomon—Geo F Richardson .....	176.81	7 Rosenthal, Philip—Morris H Bernstein .....	115.21
10 Kurbard, Annie—the same .....	35.51	10 Manfredonia, Micheline—Morris Rosenzweig .....	36.96	7 Ratzkin, Samuel—Geo F Moore .....	459.13
10 Keough, Frank T—City of N Y .....	37.08	10 Monroe, Dwight V—John Lanze et al .....	103.32	7 Ringrose, Hyacinthe—J Rheinfrank Co .....	132.11
10 Kenny, Lawrence—the same .....	213.41	10 Manning, John F—August Buerman .....	82.57	7 Rosenberg, Barnet—Philip Miller .....	458.69
10 Kohen, Samuel—Philip Leventhal et al .....	344.88	10 Morrison, Patrick H—Kenneth H Nichols .....	1,192.79	9 Reuck, Martin—Vogel Clothing Co .....	25.36
10 Knecht, Geo P—Lloyd Collins .....	23.08	10 Mackey, Charles—City of N Y .....	55.57	9 Rhodes, Henry E—Michael J Newman et al .....	309.77
10 Kann, Edward—Meyer Resnick .....	355.67	10 the same—the same .....	213.41	9 Ryan, Wm P—City of N Y .....	213.41
10 Keller, Julius H—Charles Spielman et al .....	111.42	10 Morgan, John J—the same .....	388.41	9 Robinson, Mary E—German Exchange Bank .....	4,049.85
10 Kulhse, Henry M and Herman D—Morton Visanska .....	9.31	10 Miglaughlin, Isaac—the same .....	213.41	9 Robinson, Abram—M D Williamson Co .....	203.89
10 Klett, John W—Sam E Nicolas .....	593.04	10 Mecarg, Chas W—the same .....	213.41	10*Rosenberg, Louis—L Stand .....	163.26
11 Kurzrok, Raphael—N Y Telephone Co .....	304.08	10 Michaelson, Arthur—the same .....	213.41	10 Reichenbach, John A—Simon J Frank .....	492.72
11 Kraus, Peter—Thomas Stokes et al .....	152.56	10 Martin, John R—the same .....	213.41	10*Rice, Edw E—L Shering .....	147.91
11 Kraus, Peter and Anton—Wm F Collins et al .....	100.44	10 Magsaman, Julius—the same .....	213.41	10* the same—Met Printing Co .....	88.90
11 Kennelly, Juliet G—Ethel J Norwood .....	671.28	10 Magonigh, John—the same .....	213.41	10*Risley, Isaac—N Y Telephone Co .....	44.94
11 the same—the same .....	273.30	10 McCahill, Mary E F—Robert Catrison .....	75.84	10 Rockmore, David W—Jacob L Mincer .....	29.41
11 Kennedy, Hannad, adm—N Y City Ry Co et al .....	77.88	10 McGeihan, Frank E—Harper & Bros .....	66.44	10 Rogers, Geo M—Eva Allen .....	1,104.43
11 the same—Rudolph Wenasroem .....	68.18	10 Miller, Isaac—Abraham Fisher .....	124.57	10 Rubenstein, Nathan and Abraham—Bernard Greenthal .....	203.41
11 Kalcheim, Henry and Dora—Morris Frankel .....	1,048.56	10 Merrill, Winifred E—Julia W C Carroll .....	162.27	11 Rosenthal, Isaac—James B Goggin .....	525.96
11 Kennedy, David E—Peck Bros & Co .....	652.94	10 Mayer, Max—Nathan Dallin .....	479.14	11 Reimer, Samuel R—Isaac Abramowitz et al .....	136.04
12 Knapp, Mary or Mrs Chas E—N Y Telephone Co .....	23.90	10 McGe, John—John Flynn .....	104.72	11 Reissler, Emma B—Virginia Berthon .....	218.41
12 Koevesy, Maximilian L—the same .....	30.37	10 Moran, Kate L—Board of Education .....	105.05	11 Roth, Henry P—American Radiator Co .....	250.50
12 Kauffmann, Lou B—Leopold Wolfson .....	111.91	10 Manfredonia, Micheline—Morris Rosenzweig .....	32.40	11 Ruge, Herman H—Joseph Seeman et al .....	38.95
12 Koch, Wm F—N Y Telephone Co .....	421.64	11 Marx, Joseph—Anthony L Glio .....	6,449.76	11 the same—Frederick E Bolluncke et al .....	167.85
12 Kahn, Alexander N—the same .....	31.82	11 Mercer, Martin—Annie Finger .....	252.91	11 Rasmussen, Robert T—Lewis Landsberg .....	114.08
12 Kalcheim, Henry & Dora—Maurice Frankel .....	281.81	11 the same—the same .....	359.19	11 Roth, Nathaniel—Hotel Cecil Co .....	558.04
12 the same—the same .....	539.14	11 Mink, Albert C—National Alumni .....	129.02	11 Rogniat, Pierre C—Commonwealth Trust Co .....	152.17
12 the same—the same .....	284.61	11 Malone, Frank E—Frank W Cole .....	108.17	12 Reilly, Joseph M—N Y City Ry Co .....	107.88
12 Kalcheim, Henry—the same .....	540.14	11 Mann, Samuel—Rose Kasofsky .....	7.65	12 Rosenthal, Alexander S & Julius C—N Y Life Ins Co .....	196.39
13 Kantor, Molly—Louis Julian .....	111.91	11 McCord, Wm M—Hecker Jones Jewell Milling Co .....	869.36	12 Rosenberg, Charles—George Leopold et al .....	90.40
13 Katz, David—Aaron Monnes .....	209.92	12 Miner, Ashley H—Paul Gerli et al .....	17,348.45	12*Ratzkin, Samuel—Samuel Lemkin .....	1,451.07
13 Kennedy, John—Fitzgerald Bros Brewing Co .....	22,470.97	12 Murphy, Matthew W—North American Distilling Co .....	173.51	12 Rotes, or Rosenblatt, Aaron—Minnie H Lawrence .....	203.17
13 Kleinman, Solomon—Leah Kleiman .....	519.65	12 Mendelsohn, Moses—Dietrich W Wehrenberg .....	91.32	13 Rosen, George—Japanese Fan Co .....	342.51
13 Kaminsky, Riva—N Y City Ry Co .....	77.88	12 MacDonald, Robert M—Hannah L Paisley .....	391.91	13 Rosenthal, Louis M—Gerhard Elbers .....	295.31
13 Kantor, Molly—Louis Julian .....	111.91	12 McMillan, John—Leonard Leaman .....	64.42	13 Rock, James A—Union Ry Co of N Y .....	153.03
13 Katz, David—Aaron Monnes .....	209.92	13 Michelini, Herman—N Y Telephone Co .....	126.09	7 Skup, Louis—Morris H Bernstein .....	115.21
13 Kennedy, John—Fitzgerald Bros Brewing Co .....	22,470.97	13 Marrinan, Kate—the same .....	40.75	7 Sieg, Charles—Samuel Diamond et al .....	32.41
13 Keister, George—Mary E Keister .....	564.51	13 Moor, Daniel W—the same .....	49.81	7 Sebelky, Isaac—Interurban St Ry Co .....	67.88
7 Levin, Louis—Philip Miller .....	458.69	13 Macrery, Andrew—the same .....	68.65	7 Sondheim, Eugene—N Y Telephone Co .....	10.00
9 Lipschitz, Isaac—Henry Freeman .....	138.44	13 Miller, Theodore—the same .....	31.71	7 Seidenberg, Leo—Julius Lewine .....	334.22
9 Levenson, Morris—Morris Saper et al .....	336.61	13 Moore, Max L B—the same .....	42.05	7 Shrage, Julius—Paul Gross .....	64.41
9 Larkin, James—Continental Cautchouc Co .....	107.23	13 Morwald, Henry—Schwarzschild & Sulzberger Co .....	129.39	7 Spuntzik, Joseph—National Bridge Works .....	137.78
9 Lewinthan, Louis—Harry Zlot .....	203.21	13 Mamlock, Ernst S—Paul E Hunter .....	57.82	9 Sugarman, Abraham—Chas M Straub .....	162.15
9 Loewenthan, Max—the same .....	203.21	13 Morrell, Frank H—Progressive Cycle & Automobile Supply Co .....	110.94	9 Sorowsky, Andrew—N Y City Ry .....	108.88
9 Levy, Lena—City of N Y .....	203.50	13 McLean, John L—N Y Telephone Co .....	94.65	9 Schmidt, August W Jr—Julius Pollak .....	85.97
9 Lewis, Julia—the same .....	213.41	13 McCarrier, John T—John R Corbin Co .....	4,437.32	9 Stein, Charles—Lawyers' Title Ins & Trust Co .....	45.99
9 Lynch, Geo F—the same .....	213.41	13 Mellen, Peter E—United Electric Light & Power Co .....	119.20	9 Strauss, Marx J—Import Cigar Co .....	71.12
9 Lynch, James J—the same .....	408.34	13 Manheim, Hyman—the same .....	17.41	9 Schutte, Henry D—General Electric Co .....	249.06
9 Leik, William—the same .....	37.08	13 Meyer, Henry E—James Riley & Sons Trucking Co .....	444.86	9 Schmidt, Jacob—Henry Kuntz .....	1,062.79
9 Leahy, Thomas—the same .....	295.96	13 Malinger, Louis—N Y Buff Co .....	37.86	10 Sierichs, Herman W—N Y Telephone Co .....	116.32
9 Lamont, Horace A—the same .....	213.41	13 Mayer, Max—Joel B Erhardt .....	141.47	10 Sheftall, Chas H—the same .....	60.34
9 Levin, Herman—Louis Lamchick et al .....	35.31	13 Mayer, Albert—Jacob Rod .....	17.65	10 Stiles, Esmond—Geo H Briggs .....	225.25
10*Linden, William—N Y Telephone Co .....	103.62	13 Marron, Thomas—City of N Y .....	200.07	10 Scott, Newton A—the same .....	225.25
10 Latschaw, Stanley R—the same .....	60.34	7 Northrop, John G—Thaddeus Maloney .....	274.40	10 Sciallano, Saverio—People, &c .....	500.00
10 Lowe, Allen—Oliver Typewriter Co .....	100.57	10 Naylor, George—N Y Telephone Co .....	44.94	10 Steidl, Charles—N Y City Ry Co .....	108.88
10 Lowe, Charles—Samuel Sass .....	132.83	10 Notara, Michael & Demetrius—the same .....	63.91	10 Searing, Emma and Sarah E—Francis M Reed .....	530.96
10 the same—John C Orr Co .....	377.79	10 Nova, Jay—Morris Levy .....	39.65	10 the same—Edward Jacobs .....	1,025.63
10 Lee, Goodwin—Catherine S Simmons .....	154.12	10 Napier, Thomas S—Charles Spielmann et al .....	111.42	10 Stitt, James O—Joseph Beck et al .....	133.85
10 La Vidola, Francesco—Matteo Valenti .....	64.34	11 Newins, Evarard P—Aeolian Co .....	75.62	10 Sire, Meyer L—E J Willis Co .....	304.42
11 Lustberg, Isy—Annie Finger .....	252.91	12 Naughton, Lawrence C & John H—John F Maher .....	295.07	10 Silverson, Abraham—M D Williamson Co .....	701.26
11 the same—the same .....	359.19	12 Nussbaum, Isaac—Carl Fuchs .....	86.20	10 Shields, Emma B—Sarah J Schack .....	381.27
11 Landauer, Frederick, adm—Union Ry Co of N Y City .....	106.75	12 Nemlich, Samuel—Morris Thompson et al .....	251.20	10 Sullivan, Jeremiah J—Mercantile Nat'l Bank of N Y City .....	101.31
11 Lebus, Catherine—Westchester Electric R Co .....	138.25	12 Newman, Max H—Charles Hyman .....	284.95	11 Siegel, Joseph & Henry—Herman Apfelbaum .....	999.50
11 Lifshitz, Harry S—W Oppenheim .....	27.22	7 Oberdin, Matthias—M N Clement .....	10.00	11 the same—International Hide & Skin	
11 Levine, Louis—John Ridley & Co .....	68.18	7 Ogle, Elizabeth U—Security Mortgage Co .....	527.39		
11*Lasar, Emanuel L—Morris Frankel .....	1,048.56	9 Overton, John B—Anderson Price .....	2,408.73		
11 Tum, Albert C—Oscar Bartlesstone et al .....	134.99				
12 Lane, Mary J—N Y Telephone Co .....	37.31				
12 Linden, William—Am Exchange Cigar Co .....	82.22				
12 Latham, Ernest B—Bank of Hicksville .....	583.63				
13 Lovell, John W—N Y Telephone Co .....	23.69				

# ACME SANITARY TILING CO.

## Overhead Tiling Without Extra Expense

PARK ROW BUILDING

NEW YORK, N. Y.

11 Salzer, Leopold—Hyman Strauss.....99.33  
Co.....2,037.11  
11 Seiffert, Herman—William Bunker costs, 98.41  
11 Saxton, Henry—Bert K Bloch.....148.95  
11 Scharch, Charles—Christian Armbruster.....  
11 Stein, Charles—Christian Armbruster.....  
11 Silverson, Abraham—Voska Foelsch & Sud-  
lo.....678.65  
11 Sheehan, John C—James Malloy et al.....2,137.94  
11 Stackell, Louis—Leon Pizer.....costs, 29.05  
11 Swain, Frank—Ericsson F Bushnell et al.....  
.....85.66  
11 Simon, Herman—Max Zwerdling.....221.31  
11 Schmooker, Jacob—Morris Frankel.....1,048.56  
11 Saxton, Maude—Paul Marescot.....647.84  
11 Sneed, Robert J—Bertha D Fuller.....144.50  
11 Scialla, Anthony—Man Collecting Co.....59.41  
11 Stillings, Jessie—Moses Michel.....51.66  
11 Silverson, Abraham & Rebecca—H Herrmann  
Lumber Co.....1,166.05  
12 Schwartz, Adolph—Maurice Frankel.....540.14  
12 Steiner, Simon—the same.....540.14  
12 Seicofs, Max—Nathan Topitzky.....173.01  
12 Sinderbrandt, Wm W—B Frankenthaler et  
al.....83.53  
12 Sanders, George E—Wm H Brown.....92.46  
12 Silberstein, Max—L Bralover et al.....92.38  
12 Spanier, Max gdn—3d Av R R Co.....costs, 87.78  
12 Salberg, Frederick—M S Thompson.....251.70  
12 Schiff, Fannie H—Lawrence Bros.....92,283.14  
12 Stone, Edward—Met St Ry Co.....costs, 22.28  
12 Sindeband, Samuel—G H Gerard Son & Co.....  
.....4,649.24  
13 Smith, Wm B—Amandus J Holben.....27.41  
13 the same—Amandus J Holben.....468.22  
13 Schenck, Edw F—Ida Egbert et al.....costs, 172.02  
13 Sullivan, Maurice J—T E Hergert, Inc.....208.56  
13 Sapaventa, Emanuelita P—Peter A Peterson.....  
.....239.41  
13 Schultz, Gustav—Rudolph Oelsner.....525.66  
13 Shanker, Max—Samuel Katz.....114.91  
13 Stuart, John G—Amandus J Holben.....468.22  
13 the same—the same.....costs, 27.41  
13 Scheer, Samuel—United Electric Light &  
Power Co.....28.16  
13 Stone, Sam—the same.....38.21  
13 Stillings, John—the same.....367.91  
13 Salwen, Hirsch—Louis Stern.....105.65  
13 Schultiz, Charles—Abraham Grunberg.....  
.....costs, 70.59  
13 Stromberg, Gustav—Louis Hugot.....37.44  
13 Simon, Julia & Geo J—B S Auslander.....151.84  
13 Sanders, Herman H—Samson Hirsch et al.....  
.....5,615.75  
13 Salter, John W—Mabel D Salter.....708.70  
7 Talsky, Rudolph and Morris—National  
Bridge Works.....137.78  
9 Tutnauer, Isaac—Max Goldstein et al.....costs, 113.62  
9 Trotta, Pasquale—Martin Butenstein.....46.91  
9 Tannenbaum, Lippman and Louis—Lambert  
Hoisting Engine Co.....2,072.97  
9 Thomas, Myron E—Harry E Davis.....48.49  
10 Tresselt, Fritz—N Y Telephone Co.....89.01  
10 Titus, Herman A—the same.....30.52  
10 Tintle, Chas N—Sam E Nicolas.....593.04  
10 Trood, Samuel—Man Glass Tile Co.....820.16  
12 Thode, Wm F—Henry Iden.....71.01  
12 Toll, Wilson H—Samuel M Schwab, Jr, et  
al, possession of property and \$665.82 or  
4,562.82  
12 Tauber, Denzso—Adolph Svarcz.....119.65  
12 Tobin, Preston B—Isabel T Hoskins.....300.06  
12 Trotter, Chas H—N Y Edison Co.....91.11  
12 Thomas, Geo W—J W Cushman & Co.....645.93  
12 Terry, Thomas W & Caroline E—Louis C  
Tiffany et al.....3,828.12  
10 Underwood, Frank L—City of N Y.....111.05  
12 Ullman, Dora—N Y Edison Co.....98.30  
12 Ullman, Isaac W—Patrick J Walsh.....costs, 13.10  
7 Vogel, John—Jacques Kahn.....736.62  
9 Von Lieben, Sigmund—Philip Weinberg.....28.72  
9 Van Brunt, Wm T—Robert McGill.....5,146.40  
10 Van Valkenburgh, Max—James Rasmussen.....  
.....224.17  
11 Vitable, Andrea A—John B Carss et al.....306.97  
12 Victor, Charles—Harry C Palmer.....104.41  
12 Violet, Atwood—John J Dougherty.....1,007.45  
7 Wilchinsky, Henry—N Y Metal Covered  
Door Co.....114.60  
7 White, Albert—N Y Telephone Co.....29.52  
7 Weil, Emil L—Bowling Green Distilling Co.....  
.....112.36  
9 Wilkes, Harry A—Wm C Johnson.....116.57  
9 Well, Henry—Ida Otten et al.....costs, 17.31  
9 Wiltchek, Sigmund—Joseph Turkish.....536.92  
9 Weston, Henry—Sheffield Farms Slawson  
Decker Co.....37.42  
10 Wendell, Chas A—Milton Schnaler & Co.....  
.....23.94  
10 Weinberg, Minnie—Regina Blitz.....69.64  
10 Weber, Joseph—Oscar Hussa.....2,390.72  
10 Wag, Edward—City of N Y.....388.41  
10 Waxman, Simon—the same.....203.50  
10 Wright, Harriet L—the same.....388.41  
10 Wolf, John L—the same.....222.00  
10 Wischert, Edward—the same.....408.34  
10 Wagner, Chas D—the same.....213.41  
10 Whitman, Eugene S—the same.....213.41  
10 White, Fannie E—A Hirsch & Co.....355.72  
10 Weiss, Louis—Charles Samuels.....93.78

11\* Wolf, Frank—Hyman Strauss.....99.53  
11 Winter, Ignatz—Henry G Kress.....1,269.57  
11 Whitson, Anna—Whitson Autopress Co et  
al.....costs, 118.78  
11 Wyburn, Edw M—Ella B Mack.....costs, 70.13  
11 Wiltchek, Sigmund—Albert Krumenaker.....  
.....231.47  
11 Weill, Isaac—Saul S Myers.....220.21  
11 White, Frank R—H W Gray Co.....62.72  
12 Walkof, Jacob—Louis Steinlieb.....70.65  
12 Walsh, Wm S—Alice W C Marsh.....266.31  
12 Wachter, Louis—Schwab Bros Co.....75.84  
12 Wachter, Louis L—Topping Bros.....107.12  
12 Wallenstein, Lasar—Rider Ericsson Engine  
Co.....228.56  
12 Weil, Toni—Solomon L Reiss.....172.61  
12 Welsh, Henry B—John F Sife et al.....costs, 27.72  
13 Whitney, Peter—Horace W Bodine et al.....  
.....46.40  
13 Ward, Patrick—Flora L Adams.....99.68  
13 Williams, Geo D—Swift & Co.....32.41  
13 Whitmore, Albert H—Samson Hirsch et al.....  
.....5,515.75  
13 Wilchinsky, Stephan—Landis Machine Co.....  
.....71.36  
13 Weir, John—Adolph S Lowenthal.....costs, 394.95  
10 Young, Elizabeth—City of N Y.....758.22  
11 Yokel, Antonia—Jacob Weis.....costs, 157.77  
and possession of property or.....250.00  
7 Zieler, Levi—Petera B Worrell.....445.08  
9 Zettler, George—George Zettler.....180.66  
10 Zottarelli, Nathan—Ridleys.....52.35  
11 Zeigler, August H—City of N Y.....213.41  
11 Zatz, Joseph—Aaron Fox.....324.65  
13 Zimmerman, Nathan—H J Boldt.....301.95  
13 Zimmerman, John L—T F Foley.....934.72

### CORPORATIONS.

7 N Y City Ry Co—Pauline Mather.....200.00  
7 the same—Geo B Mather.....50.00  
7 Norton & Dalton Contracting Co—Lena E M  
Zerrenner.....2,652.46  
7 Rebmam Co—Benno Loewy.....605.95  
7 Gordon Heitzner Construction Co—N Y  
Metal Covered Door Co.....163.40  
7 The Butterick Pub Co—Daisy Hunt.....633.69  
7 N Y City Ry Co—Isabella Thompson.....costs, 500.00  
9 Pearson Advertising Co—N Y Telephone  
Co.....89.63  
9 Metropolitan Stone Co—the same.....37.71  
9 Gleason Realty Co—the same.....41.79  
9 Commercial Lumber Co—the same.....234.34  
9 Property Owners' Plumbing Repair & Con-  
tracting Co of America—the same.....125.93  
9 Ariston Press Corporation—the same.....53.19  
9 Austin Hat Co—the same.....146.48  
9 Westchester Tracton Co—the same.....36.27  
9 Langan Realty Co—the same.....59.86  
9 Shands—the same.....26.30  
9 Taylor—Storm Realty Co—the same.....68.59  
9 Steiman Realty Co—the same.....34.89  
9 Winslow Realty Co—the same.....104.82  
9 Maloof, N N & Co—the same.....30.46  
9 Metropolitan Surety Co—City of N Y.....1,605.41  
9 Mount Morris Construction Co—Abraham  
Nussbaum.....1,256.68  
9 N Y Finance Co—Louise C Moore.....6,732.89  
9 The School of Practical Illustrating—Hugh  
Mulholland.....519.55  
9 N Y City Ry Co—Elizabeth Martin.....40.00  
9 the same—Solomon Lent.....277.41  
9 Supreme Lodge of the Order of the Ironquills  
—Lucy Israelson.....1,144.10  
9 Regulius Cigar Co—John P Flannery.....costs, 32.41  
9 J L Mott Iron Works—Chas F Wood.....5,373.26  
9 The Elmira Sash, Door & Blind Co—Mer-  
chants' Nat Bank of City of N Y.....3,359.38  
9 N Y City Ry Co—Minnie Marx.....100.20  
9 the same—Geo E Rosell.....169.31  
9 Portman Realty Co—M D Williamson Co.....  
.....101.62  
9 The City of N Y—Henry R Sherman.....530.69  
9 N Y City Ry Co—Desso Schussler.....2,636.00  
9 The Interurban St Ry Co—Wm S Murray.....  
.....2,693.80  
9 Federal Union Surety Co—M N Clement.....  
.....1,925.32  
9 Patterson Hotel Co—George Welker et al.....  
.....42.09  
9 Builders' Construction Co—John Holt et al.....  
.....5,044.02  
9 Long Beach Transportation Co—Curtis  
Blaisdell Co.....266.25  
9 The Bankers Surety Co—M N Clement.....1,894.32  
9 N Y, N H & H R R Co—Mark N Cormack.....  
.....90.65  
10 Met St Ry Co—Samuel Angelo.....850.00  
10 Manahan Parchment & Moth Paper Works  
—Geo W Miller et al.....10,745.19  
10 Edwin C Hill Co—Perkins Goodwin Co.....860.85  
10 Interborough Building Co—Thomas I Crane  
et al.....530.16  
10 M Lane & Son—Theodore C Wethey et al.....  
.....489.95  
10 State Motor Service Co—Sprague Umbrella  
Co.....89.35

10 T H Armstrong Co—Chicago Color & Chem-  
ical Co.....320.97  
10 N Y City Ry Co—Max Schwartz.....350.00  
10 the same—Pauline Goldstein.....590.57  
10 the same—Bridget Lawler et al.....1,380.78  
10 the same—John J Roberts.....100.00  
10 Union Ry Co of N Y City—Jacob Keller.....  
.....400.00  
10 Union Associated Press—City of N Y.....costs, 37.08  
10\* Hawthorne Building Co—Jacob L Mincer.....29.41  
10 Star Co—Wm A Woodbury.....costs 134.95  
10 J J Bamberger & Co—Menke H Wolfe et  
al.....241.71  
10 State Motor Service Co—Julian Van Wie  
et al.....120.61  
10 South Coast Hotel Co—Isaac H Hyman.....149.91  
10 N Y City Ry Co—Max Levin.....173.91  
10 the same—Joe Levin.....68.91  
10 the same—Rebecca Haber.....128.41  
10 the same—Ellen Brady.....850.00  
10 the same—Samuel Durst.....100.00  
10 Gerthard & Gallagher Construction Co—  
Empire Brick & Supply Co.....160.00  
10 Penn, N Y & L I R R Co and The N Y  
Contracting Co—Blanche Gordon.....137.97  
10 Central Cross Town R R Co—L Bradshaw.....  
.....653.93  
11 Interborough Rapid Transit Co—Solomon  
Sturmhauser.....171.07  
11 Coleman Stable Co—Wm H Henshaw et al.....  
.....135.51  
11 The Stephanidis Bros Co—Russell C Senior.....  
.....272.95  
11 the same—the same.....costs, 12.75  
11 City of N Y—Coldwell Lawn Mower Co.....900.00  
11 Metropolitan Plumbing Contracting Co—  
Peck Bros Co.....652.94  
11 Baltimore & Ohio R R Co—Jacques Ent-  
hoven.....2,140.94  
11 Karlner Realty Co—Esther Perlin.....2,019.97  
11 Geo C Flint Co—Charles Bernard, Jr.....115.91  
11 the same—the same.....costs, 27.41  
11 New York City Ry Co—Katie A Mullane.....  
.....800.00  
11 the same—Martin Lynch.....costs, 132.62  
12 N Y City Ry Co—Mary A Lender.....250.00  
12 Commercial Wood & Cement Co—Northamp-  
ton Portland Cement Co.....costs, 151.27  
12 The City of N Y—Mary Hogan et al.....2,250.00  
12 Interborough Rapid Transit Co—Chas F  
Dobson.....1,638.29  
12 Dartmouth Realty Co—John C Orr Co.....524.25  
12 the same—the same.....870.23  
12 The City of N Y—Charles Dunlop.....1,631.45  
12 The O'Connell Lime & Marble Dust Co—  
Frederick Kleinmann.....904.59  
12 N Y City Interborough Ry Co—Arthur Clem-  
ent.....10,125.60  
12 The O'Connell Lime & Marble Dust Co—  
Frederick Kleinmann et al.....1,226.34  
12 N Y City Ry Co—Carrie Dibrow.....5,285.37  
12 Crescent Park Co—Greenwich Printing Co.....  
.....270.88  
12 Interborough Rapid Transit Co—Christina  
Greith.....595.21  
12 N Y City Ry Co—Wm Neary.....1,125.00  
12 the same—Harris Bernstein.....3,389.10  
12 42d St, Manhattanville & St Nicholas Av  
R R Co—Mary Burns.....1,700.00  
13 N Y Contracting Co Pa Terminal—Nanina  
Cremolino.....1,704.23  
13 N Y City Ry Co—Sophie Solomon.....600.00  
13 Met St Ry Co—Frank G McCort.....235.52  
13 N Y City Ry Co—Herman Keller.....3,141.20  
13 Christie Direct Action Motor Car Co—Wm  
G Brokaw.....19,195.63  
13 General Bldg & Construction Co—James W  
Finn.....6,991.05  
13 Chas F Fischer Lumber Co—Maurice En-  
delman et al.....costs, 69.43  
13 N Y City Ry Co—Harris Kamrass.....334.91  
13 the same—the same.....costs, 27.72  
13 the same—Terence Sweeney.....100.00  
13 Trust Co of America exr—Morris Jacoby et  
al.....3,031.50  
13 N Y City Ry Co—Haymus Swenson.....50.00  
13 H A Rost Printing & Pub Co—Ferdinand  
Schleffer.....252.03  
13 Met St Ry Co—Louis Luris.....250.00  
13 Donald Steamship Co—Joseph B Morrell et  
al.....776.93  
13 Enterprise Light Co—C Albert Jacob.....239.73

### SATISFIED JUDGMENTS.

Dec. 7, 9, 10, 11, 12 and 13.

Althelmer, Charles, Louis Stock and John Doe  
—P Engel. 1892.....255.40  
\*Armstrong, Paul—Robert Gair Co. 1907.....268.43  
Aaron, Samuel—T A Keppler. 1907.....25.39  
Ardente, George—Dairy Products Co. 1907.....129.87  
Adler, Sigmund—Vermont Marble Co. 1907.....399.90  
Byrnes, John J & Nellie—A Schieck. 1907.....39.72  
Burger, Alexander—J J Kegrelsz. 1906.....69.63  
Bogner, John—J R Davidson. 1907.....990.96  
Britton, Charles—W J Fitzgibbon. 1907.....150.00  
Benedict, Elias C—J W Simpson et al. 1900.....  
.....791.32  
Bates, Chas A—The Hult & Wiborg Co of N Y.  
1907.....77.62  
Benedict, Elias C—W J Logan. 1902.....44.15

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### MECHANICS' LIENS.

Blum, Morris—H Marcus, 1905	67.65
Bates, Chas A—The Bates Realty Co and Henry V Brandenberg—H Kertscher et al, 1904	174.36
Barford, Lulu—H Arnstein, 1907	12,268.43
Brettner, Julius, Julius Schoencke and Theito—A E Woolf, 1907	176.46
Cole, Andrew J—The Twelfth Ward Bank of N Y, 1907	274.61
Cunningham, Ellen P—J Goldhammer, 1904	583.60
Clancy, Nellie—N Y City Ry Co, 1907	107.88
Carpenter, Thomas B—J H Johnston et al, 1901	91.67
Camardella, James V & William Hettessheimer—P Igoe et al, 1907	331.04
Chandler, James E—Corn Exchange Bank, 1907	599.61
Del Bello, Gaetano, Jacob Peitz and Christian Schlobohm—Mechanics American National Bank of St Louis, 1907	2,587.39
Same—A Wells, 1907	2,572.81
Etkin, Louis—H Rubin, 1907	235.65
Same—same, 1907	2,280.28
Feist, Max—L Block, 1906	112.72
Same—same, 1906	2,345.37
Ferguson, Beatrice & Hyman Feit—People, &c, 1906	500.00
Finkelstein, Alice—A Blum, 1907	318.06
Frank, Samuel—Benjamin Moore & Co, 1907	59.95
Fitzgerald, Agnes L—W T Matthies, 1907	110.20
Gertner, Joseph—J F Betz, 1898	124.15
Garlick, Abraham—D Feisterstein, 1907	119.41
Glass, Samuel—A Schoenberger, 1907	649.88
Gibbons, Josephine—A Reichbart, 1900	2,133.27
Hewitt, Edward G—J Block, 1907	35.47
Hirschfeld, Harry—J Beck et al, 1905	240.39
Harris, Moses H—C D Levin, 1907	409.98
Hatch, Edward S—J C F Gardner, 1907	5,140.63
Heller, Morris—B Liberman, 1905	95.40
Jacobowitz, Morris & Lena—J Babjak, 1907	149.60
Jakkowitz, Morris, Max Resnirooff and Barnett Schwartz—L Stein, 1907	695.22
Kerr, John—E Kelly, 1907	75.00
Kervan, Charles—American Missionary Assn, 1900	7,719.02
Same—R C Watson et al, 1900	800.75
Same—American Missionary Assn, 1900	7,719.02
Klingman, Frederick—L G Kirk, 1907	91.41
Lustig, David L, Philip and Abraham B—E J Reiser, 1907	959.22
Lehman, Daniel—H J Neuman et al, 1907	144.31
Same—same, 1907	144.31
Lindsay, Richard and Wm G Wilson—Sherman Brown Clements Co, 1907	457.52
Lewis, Julius—H P Alexander et al, 1907	73.84
Martens, Wm J—B J Goldberg, 1907	59.31
Mandel, Samuel—H Frank et al, 1907	1,264.75
Metzger, Joseph—I Goldman, 1907	588.48
Maynicke, Robert—Central Realty Bond & Transit Co, 1906	1,701.42
Same—same, 1906	79.86
Same—same, 1907	168.87
Noach, Carl & Anna—M Rosenfield et al, 1906	88.01
Osterberg, Paul M—R Friedlander et al, 1907	30.23
Price, Joseph—B Schmitzer, 1906	1,231.38
Pellicano, Antonio—P Stromberg, 1904	84.41
Perlit, Magdaline—J Levy, 1907	59.96
Reinheimer, Ray—Hamilton Bank of N Y City, 1904	366.16
Scheffler, Wm W—O S Wightman, 1906	222.67
Sheehan, John C and John J O'Brien—R E Sugden, 1903	500.11
Souhami, Harry S, Maurice B Mendham and Louis P Mendham—Philip Morris & Co, 1907	955.21
Swartwout, Frank G—T Dwyer, 1897	49.79
Schuch, George and Augustus—A B Beith, 1907	100.00
Spencer, Elliott L—I K Bernstein, 1907	221.60
Simon, William—P Wolfson, 1907	1,306.99
Tucker, Mary A, Walter C and Edwin—J J Roberts, 1906	1,787.56
Weinstein, Joseph—M Peck, 1907	566.50
Weisburger, Moritz—J P Hayes, 1906	226.63
Weill, Henry M—W F Donnelly, 1904	25.00
Same—same, 1903	114.41
Same—Real Estate Directory & Information Bureau, 1907	86.47
Same—G Zubst, 1907	66.91
Same—M Landau, 1907	30.41

### CORPORATIONS.

National Umbrella Frame Co—K A Drewseu, 1907	3,655.68
H Koehler & Co—The Coleman Stable Co, 1907	329.65
Hauben Realty Co—G Sprickerhoff et al, 1907	819.38
Same—same, 1907	531.28
Gleason Peters Air Pump Co—The Motor Boat Pub Co, 1907	136.31
The Equitable Life Assurance Society of the U S—M Regenstreich, 1907	87.00

<sup>1</sup>Vacated by order of Court. <sup>2</sup>Satisfied on appeal. <sup>3</sup>Released. <sup>4</sup>Reversed. <sup>5</sup>Satisfied by execution. <sup>6</sup>Annulled and void.

92—Bryant av, w s, 75 s 172d st, —, Harry Lancaster Co agt Hyman Davis, Frank E Silverman and Walsh Parquet Flooring Co, 1907	391.30
93—136th st, Nos 504 to 518 West, John Cullo & Bro agt Besse C Clark, 1907	150.00
94—93d st, No 177 East, National Fireproof Sash & Door Co agt Rosana Rosenfeld, Solomon Cohen, Adolph Cohen and B Kushner, 1907	50.00
95—William st, s e cor Centre st, 114.10x44, Bronx, Laurent Poirier agt Anna A Horton and Thomas T F Kelly, 1907	65.00
96—101st st, Nos 408 and 410 East, Burt F Merriam et al agt Anna and Vincent Cirro and Ratzkin, Berman & Prudovsky, 1907	500.00
97—118th st, Nos 421 to 425 West, Guarantee Electric Co agt Abraham Felt and Harry Malakoff, 1907	550.00
98—Amsterdam av, No 683, Max Herbst agt Mary F P and Brook H Wells, Wm Z Greene and Louis R Taylor, 1907	57.00
99—Mulberry st, No 58, Frank C Hartnett agt Conforti Concordio, 1907	100.00
100—118th st, Nos 421 to 425 West, Cammack & Seitz agt Abraham Felt and Harris Malakoff, 1907	750.00

101—116th st, No 122 East, Nathan Zolinsky agt Richard E Burne and Stein & Gordon, 1907	50.00
102—11th st, No 602 East, Same agt Samuel Lorber, Levi W Rubenstein, Nathan Liebson and Stein & Gordon, 1907	45.00
103—Satisfied.	
104—Willett av, e s, 150 n 213th st, 25x100, Moses Blumenfeld agt John Ivers and Hess & Kammerer, 1907	100.00
105—134th st, No 15 East, Dix Painting Co agt Joe Block, 1907	300.00
106—Lexington av, n w cor 102d st, 144x79, Wm T Hookey agt Arthur A Goldstein and Louis Freidel, 1907	1,307.40
107—61st st, No 106 West, Greater N Y Tin & Tar Roofing Co agt Agnes F Adams and John Gallagher, 1907	30.00
108—Maclay av, w s, whole front between Overing av and Montgomery pl, 148.4 x125.1 irreg, Maclay av, w s, whole front between Montgomery pl and St Peters av, 200x125, Maclay av, n e cor St Peters av, 300x125.4, Charles Subitzky agt Bronx Mortgage Co, 1907	4,455.00
109—42d st, No 251 West, Barney Blum agt Regent Realty Co and Siegel, Rosenberg & Co, 1907	265.00
110—Amsterdam av, s w cor 114th st, 150.11x100, Bell Bros agt Simon Wolk and Jacob Weinstein, 1907	5,010.80
111—2d av, s e cor 4th st, 41x100, Person & Co agt Adelstein & Avrutine and John Kruly & Co, 1907	427.37
112—Hughes av, e s, 36 n 181st st, 50x100, Person & Co agt Magdalena Marx and John Marx, 1907	258.00
113—99th st, Nos 151 to 161 West, Abraham Strager agt Samuel Friedelson, 1907	112.50
114—Broadway, No 1618, Chas E Dowdall agt Knickerbocker Trust Co, Matheson Co of N Y and General Supply & Construction Co, 1907	165.00
115—Amsterdam av, s w cor 114th st, 150.11x100, John C Orr Co agt Simon Wolk, 1907	11,000.00
116—Christie st, Nos 138 to 142, Delancey st, Nos 21 to 25, Frooks Engine Co agt Isaac Kleinfeld, Isaac Rothfeld and Matthew T Brennan, 1907	64.85
117—Vyse av, w s, 168 n Freeman st, 50x100, Morell & Acitto agt George Hoffman, 1907	425.00

### Dec. 10.

119—77th st, Nos 52 to 58 West, Canavan Bros Co agt Montross Bond & Realty Co and Dayton Construction Co, 1907	42,293.46
120—151st st, n s, 150 e Broadway, 75x150, Leonardo Carlo et al agt Norfolk Realty Co and Charles Lowe & Max Jorrich, 1907	2,000.00
121—11th av, No 656, Louis Tokson agt John Brown, Harry Brettholz and John Cohen, 1907	70.00
122—Riverside drive, s e cor 97th st, 100x100, Adolph Grant & Co agt Robert T Lyons, 1907	1,051.25
123—Riverside drive, n e cor 95th st, 100x174, Keefe & Murphy agt Geo W Levy Building Co, 1907	4,636.82
124—Amsterdam av, s w cor 114th st, 150.11x100, George Dellon agt Simon Wolk, 1907	10,250.00
125—101st st, s s, 100 e 1st av, 50x100, Rosen & Fritz agt Ashbroke Building Corporation and David Garman, 1907	52.00
126—101st st, Nos 408 and 410 East, Pittsburgh Plate Glass Co agt Anna and Vincent Cirrito, 1907	285.00
127—2d av, No 1210, Kalt Lumber Co agt Peter Curran and Henry Heum, 1907	560.84
128—Riverside drive, n e cor 95th st, 108x173, Eastern Parquet Floor & Mantle Co agt G W Levy Building Co, 1907	3,100.00

129—158th st, Nos 553 to 559 East, Bernat Nussbaum agt Francis A Henning and Alex J Drall, 1907	44.14
130—Same property, Morris Knoepfner agt same, 1907	43.10
131—138th st, Nos 33 to 37 West, Jacob J Harris agt Hyman Goldberg, 1907	150.35
132—Columbus av, No 424, Plymouth Interior Construction Co agt John H Feldscher et al, 1907	6,870.00

### Dec. 11.

133—235th st, s s, 200 e Napier av, 75x100, Van Nest Wood Working Co agt Martin J Considine, Thomas Flood and James Rice, 1907	197.30
134—Maple av, n w cor 214th st, 25x100, Angelo Flaccadore agt Antonio Lamberti and Tinagero & Di Nicla, 1907	125.00
135—118th st, Nos 421 to 425 West, Ross Lumber Co agt Abraham Felt and Harry Malakoff, 1907	25.27
136—42d st, No 241 West, Victor Heating Co agt Lillie McGovern and Elix E Salkin, 1907	397.00
137—5th av, n w cor 16th st, 40x150, Robert E Leve agt Carrie Butler and J D Butler, 1907	145.15
138—Elizabeth st, No 122, Anton Prokopowicz agt Nepleon Y Alken and D J Comyns & Co, 1907	85.00
139—13th av, Nos 156 and 158, Stephen Michel agt Charles Beekman and Charles Miller, 1907	40.00
140—Morris av, Nos 654 and 656, Harry W Bell agt Friedman Realty Co, Angelo Gagliano and Robert Friedman, 1907	1,103.25
141—10th st, No 87 East, Stephen Michel agt Chas G and Apollonia Heutermann, Sophie Pfaffli and Charles Miller, 1907	51.60
142—Broadway, No 1369, J S Kelly agt Matthew Bernheim, 1907	211.25
143—77th st, Nos 44 to 50 West, Lewinson & Co agt Montross Bond & Realty Co and Dayton Construction Co, 1907	92,750.00
144—77th st, Nos 44 to 58 West, Dayton Construction Co agt Montross Bond & Realty Co, 1907	443,500.00
145—Forest av, w s, 52.3 s 160th st, 63x87.6, Isidor Piser et al agt Beth Hamedrash Hagadol of the Bronx, 1907	430.00
146—Allen st, No 90, Otto Reissmann agt Philip Teitelbaum, 1907	10.00
147—Broadway, Nos 1367 and 1369, Pace & Cripps Co agt Matthew Bernheim and Bernheim & Co, 1907	3,422.67
148—125th st, Nos 213 and 215 West, Archibald Hamilton agt The Hamilton Bank, lessee, and Bank Building Co, 1907	2,435.20
149—115th st, No 609 West, George Bernard agt Oppenheim Realty Co and George Barnes, 1907	19.10
150—136th st, Nos 618 and 620 West, George Bernard agt same, 1907	12.00
151—Amsterdam av, s w cor 114th st, 150.11x100, Isidor Glick agt Simon Wolk and Jacob Weinstein, 1907	2,875.00
152—Same property, Abraham Gruskin agt same, 1907	4,900.00
153—Same property, Hyman Glick et al agt same, 1907	19,500.00

### Dec. 12.

154—Broadway, s w cor 37th st, 48.4x71.8, E J Electric Installation Co agt Daniel D Bradley and Mary B Averill and Matthew Bernheim, 1907	1,095.12
155—Home st, s s, 91.9 w Prospect av, 145x50x irreg, Peter Muller agt Abelman Construction Co and Irving W Young, 1907	7,400.00
156—Broadway, No 810, A Schwoerer & Sons agt Apartment Construction Co, 1907	1,322.75
157—Ryer av, w s, 203.5 n 181st st, 50x97.3, Raymond Van Praag Supply Co agt Richard Keil and Schneider & Kehoe, 1907	809.41
158—Broadway, s w cor 37th st, Raeser & Sommer Co agt Bernheim & Co and Matthew Bernheim, 1907	100.00
159—115th st, No 156 East, Elias Chaimowitz agt Samuel Simon, 1907	162.50
160—7th av, s e cor 129th st, 99.11x75, Anton Larsen agt Greenbaum & Kreiser, 1907	292.69
161—Brook av, w s, 50 s Anna pl, 125x80, Atlantic Cement Co agt Brookman Realty & Construction Co and Laitman & Repatzky, 1907	1,076.97
162—Same property, James B Brady agt same, 1907	67.90
163—Lexington av, n w cor 102d st, 145.9x77.6, David Schwartz et al agt Arthur Goldstein and Louis Friedel and Morris Tobias and Barnett Berman, 1907	347.50
164—Amsterdam av, s w cor 114th st, 100x151, Sargent & Co agt Simon Wolk, 1907	1,090.09
165—Same property, Alfred Ritchings agt Simon Wolk, 1907	650.00
166—Lind av, w s, 374.4 n 168th st, 20x43, Wm H Nelson agt David Christie, 1907	200.00
167—216th st, s s, 155 e Barnes av, 50x114, Chas E Staker agt Margare & Flanagan and Lawrence Flanagan and Mary L Flanagan, 1907	800.00
168—159th st, No 611 East, Louis Holzberg agt Maurice Frankel, 1907	37.50
169—Vyse av, No 1163, Same agt Lizzie Frankel and Maurice Frankel, 1907	12.00
170—Norfolk st, Nos 63 and 65, Same agt Maurice Frankel, 1907	22.25



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173—8th av, No 688. Robert H Mathews Co agt West Shore Beef Co and Henry Glick- man .....21.00  
174—138th st, n s, 100 w Broadway, 75x200 to 139th st. Same agt Burlington Realty & Construction Co and Henry Glickman. ....209.00  
175—5th av, No 358. Chas T Wills, Inc, agt Knickerbocker Trust Co .....21,771.25  
176—Same property. Tiffany Studios agt same. ....800.00  
177—Amsterdam av, s w cor 114th st, 150.11x 100. Builders' Stone Contracting Co agt Si- mon Wolk and Glick & Allen .....1,650.00  
178—Allen st, No 57. Friedland & Levine agt Rose Fay and Saul Amsterdam .....30.80

Dec. 13.

179—136th st, s s, 100 e Brook av, 175x100. Sommerfeld & Manasse agt Grossman Bros & Rosenbaum and Ellis Wilson .....100.00  
180—East Houston st, No 342. B Lebowitz agt Sarah Teitelbaum, A Greif and Louis Golden .....180.00  
181—Same property. Morris Miller agt Sarah Teitelbaum, Alexander Greif, H Kleindienst & L Golden .....375.00  
182—William st, No 233. ....  
Park Row, No 93. ....  
Gottlieb & Feinberg agt Morris Reich and Becca Kleinfeld .....5,667.00  
183—109th st, No 8 East. Samuel L Corker agt Julius Kline and Sydney Cohen .....360.91  
184—7th av, Nos 2132 to 2138. Sarah L Sie- gel agt Max G Rieser, George Keister and B Pomorantz .....35.34  
185—Amsterdam av, s w cor 114th st, 150.11x 100. Locurto & Gallo agt Simon Wolk and Jacob Weinstein .....6,200.00  
186—126th st, No 229 East. Max Margulies agt Charles Gerlich and Joseph Becker .....46.00  
187—Wilkins av, Nos 1567 and 1569. ....  
Crotona Park East, Nos 1444 and 1448. ....  
Sam Brodsky agt Jerry Altieri and Jacob Al- tieri Co and Jacob Moskowitz .....225.00  
188—Hoffman st, w s, 308.8 n 184th st, 37.6x 94.11. Thomas B Bowne & Son Co agt Jo- seph Faiella .....4,237.22  
189—Bowery, No 102. Berger Mfg Co agt Her- man Knapper and Knapper Realty Co. ....75.00  
190—136th st, s s, 100 w Amsterdam av, 300x 100. Frank Fasano et al agt Hyman Hor- witz and Bessie C Clark .....110.25  
191—Broadway, No 1369. Pittsburgh Plate Glass Co agt Nathan Bernheim and Bernheim & Co .....22.00  
192—Washington av, Nos 1987 to 1993. John Cullo & Bro agt Isidor Robinson .....200.00  
193—Broadway, No 1624. Timothy B O'Rourke agt Harris D Colt and Franklin B Lord, tru- stees and H J Koehler Sporting Goods Co, 910.00  
194—Broadway, No 810. Harris H Uris agt The Apartment Construction Co .....697.85  
195—Kelly st, No 48. Samuel Danman agt Joseph Friedman and H Feinberg .....340.00  
196—West End av, No 520. John T Glaney agt Mary W Somerville and Harry B Rogers. ....100.00  
197—45th st, No 156 West. David Buist agt May I Einfeld, Jacob B Wolff, Jacob Wolff and Gustav Miller. ....1,496.00  
198—Same property. Story & Flickinger agt same. ....989.54  
199—9th st, No 34 West. Milton Schnaier & Co agt Caroline Dilks .....608.15  
200—2d av, No 831. King & Salkin agt Sig- mund Levin .....1,125.00  
201—Suffolk st, No 131. John L Cotter agt Morris Steckel .....902.00

**BUILDING LOAN CONTRACTS.**

Dec. 12.

Charlton st, Nos 108 and 110. Arthur J Col- lins loans The Charlton Contract Co to erect a — sty loft bldg; 11 payments. ....27,250  
110th st, n s, 150 w 7th av, 100x100. Harris Mandelbaum and Fisher Lewine loan Clem- entine M Silverman to erect a 6-sty tene- ment; 9 payments .....70,000.00

Dec. 13.  
5th st, n s, 100 s e 2d av, 50x97. Harris Man- delbaum & Fisher Lewine loan Hyman Levin to erect a 6-sty tenement; 2 payments. ....8,000  
66th st, s s, 275 e 2d av, runs s 50.5 x e 5.6 x s 50 x e 19.6 x n .05 x e 16.8 x n 100 w 41.8 to beg. Jacob Levy loans David Lentin to erect a — sty building; — payments. ....22,000

**SATISFIED MECHANICS' LIENS.**

Dec. 7.

Hillside av, w s, 515.9 n Glen rd. Van Nest Wood Working Co agt Theodore Stafsholt. (Dec 6, 1907) .....\$242.78  
Hillsdale av, w s, 515.9 n Glen rd. Same agt same. (Dec 5, 1907) .....242.78  
Hull av, w s, 100 s Woodlawn rd. Harry Alexander agt Mary A Costello. (Sept 30, 1907) .....270.00

Dec. 9.

Washington av, s w cor 187th st. G B Ray- mond & Co agt James Mulholland. Oct 15, 1907) .....65.51  
Washington st, Nos 719 and 721. Frederick Pearce Co agt Builders' Construction Co et al. (Dec 1, 1906) .....601.00  
3d st, No 195 East. Jacob Goldberg agt Joseph Katz. (Aug 8, 1907) .....300.00  
7th av, s w cor 131st st. Jackson Mantel & Grate Works agt Gustav M Piermont. (July 17, 1907) .....425.00  
Same property. H Herrmann Lumber Co agt same. (July 18, 1907) .....1,519.54  
Liberty st, Nos 91 and 93. Richard Thomp- son & Co agt The Singer Mfg Co et al. (Aug 24, 1907) .....923.00  
Villa av, e s, 82.5 n 204th st. Borgia & Co agt Angelo Gnazzo et al. (Nov 4, 1907) .....600.00  
Same property. Same agt same. (Nov 4, 1907) .....3,000.00  
Mangin st, No 10. The Frank Realty & Con- struction Co agt Julius Myer. (Oct 24, 1907) .....3,500.00  
White Plains av, e s, 125 s 216th st. Bronx Sanitary Plumbing Co agt Adelaide Bur- lando. (Nov 25, 1907) .....280.00

Dec. 10.

98th st, No 202 East. Abraham Rosenberg et al agt Morris Goldfarb. (Oct 24, 1906). ....665.00  
Ludlow st, Nos 13 and 15. Jordan & Fox agt Isidor Tager et al. (Nov 4, 1907) .....1,150.00  
Essex st, No 137. Harry Schenker et al agt Bernard Frusch. (Oct 9, 1907) .....700.50  
Hull av, No 3204. Oscar Goldfischer agt Wm H Barry et al. (Nov 26, 1907) .....27.50

Dec. 11.

Broadway, s w cor 25th st. Traitel Marble Co agt F S Kenney et al. (Nov 27, 1907) .....14,552.19  
85th st, No 556 East. Central Radiator Co agt Isidor Ullman et al. (Sept 28, 1907) .....97.58  
Madison av, No 1785. Nathan Zolinsky agt Louis Bernstein et al. (Dec 9, 1907) .....9.50  
Home st, n s, whole front between Prospect av and Stebbins av. Manhattan Rolling Mill agt M & V Construction Co. (Oct 26, 1907) .....72.31  
124th st, No 269 West. A P Bigelow & Co agt Charles Weisbecker. (Aug 11, 1906) .....719.98  
Same property. Patrick J Commerford agt same. (July 15, 1906) .....950.00  
125th st, Nos 368 and 370 West. The Charles Bayer Co agt same. (Aug 10, 1906) .....327.69  
124th st, Nos 267 and 269 West. Paul Peter- son agt same. (Aug 13, 1906) .....540.00  
Same property. Wm H Disbrow agt same. (Aug 15, 1906) .....460.00  
Same property. Willson Adams & Co agt same. (Aug 16, 1906) .....313.34  
Same property. Frederick W Randall agt same. (Aug 30, 1906) .....281.50  
Same property. Joseph Di Benedetto et al agt same. (Aug 31, 1906) .....1,560.81  
Same property. McDougall & Potter Co agt same. (Sept 7, 1906) .....640.73  
3d av, s w cor 74th st. Giovanni B De Marco agt Jacob Weinstein et al. (Oct 3, 1907) .....250.00  
Washington av, No 1570. Louis D Prager agt Leon Salpeter et al. (Dec 26, 1905) .....796.73

Decatur av, e s, 330 s Gun Hill rd. G B Ray- mond & Co agt Cosmos Realty Co. (Dec 3, 1907) .....851.91

Dec. 12.

149th st, Nos 220 and 222 West. Harris Gold- berg agt George Sprickerhoff et al. (Oct 10, 1907) .....20.00  
5th av, s w cor 218th st, Bronx. Mariano De Luca agt Taylor Textile Works Co et al. (Oct 17, 1907) .....20.50  
Riverside drive, n e cor 94th st. The E J Dupont de Nemours Powder Co agt Joseph Friedman et al. (Dec 4, 1907) .....194.21  
Madison st, No 162. Samuel Shanker agt E Reibstein et al. (July 29, 1907) .....210.00

Dec. 13.

Hamilton st, No 38. Paul Bernstein agt Mor- ris Rosenthal. (Nov 4, 1907) .....385.00  
20th st, Nos 6 and 8 West. David Shuldiner agt Six and Eight West Twentieth Street Co. (Dec 12, 1907) .....1,729.00

\*Discharged by deposit.  
\*Discharged by bond.  
\*Discharged by order of Court.

**ATTACHMENTS.**

Dec. 5.

Brown, Arthur L; Geo E Wilsen; \$550; J B Cur- tis.  
Cocula, Gabriel; Wm Hills Jr; \$2,010; Griggs, Baldwin & Pierce.

Dec. 6.

Ascarelli, Ettore, Augusto Petrangeli and Giu- seppe Ruggeri; A Muscia & Son; \$1,349.50; Rushmore, Bisbee, Rogers & Stern.

Dec. 10.

Pupilla, Lorenzo; Luigi Catania; \$1,658.71; H S Bird.  
Whitcomb, James A; Otto Wagner; \$500; Kneel- and, La Fetra & Glaze.

Dec. 11.

Puritan S S Co, Lim; Francis M Wilson; \$12,- 479.75; Wallace, Butler & Brown.

**CHATTEL MORTGAGES.**

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Dec. 6, 7, 9, 10, 11, 12.

Benincasa, M. Williamsbridge Plumbing Co, security for J Beacher on Houses on the n e corner of 30th st and Lexington ave. ....1,000  
Plumbing Fixtures. ....720  
Bachrach, W & J. 152d st, 100 ft e of 8th av. .. Silberstein & S. Mantels. ....450  
Braun, G. 143d st and Riverside drive. N. England M Co. Mantels. ....450  
Cohen & Branfield. 137th st and 5th av. .. Raisler H Co. Heating Fixtures. (R) 1,520  
Hochstim, M. 134-6 E 13th. Raisler H Co. Heating Fixtures. (R) 276  
Heischtin, J. 64 Rivington. J Halbren. Range. ....25  
Klenert, E C. 72d st and Broadway. Abend- roth Bros. Ranges. ....249  
Kyle, .. 181st st. Basner & Basner. Gas Fix- tures. ....115  
Olsen, A A. 3377 Broadway. Brunswick B C Co. Refrigerator. ....90  
Peters, M—E J Gillies & Co. Refrigerators. 148  
Silverson, A. 99th st and Central Park W. Silberstein & S. Mantels. ....690  
Same, n w cor 154th st and 8th av. same. ....208  
Same. Weierman, F. 4002 8th av (Bklyn). Union G F Co. Gas Fixtures. ....206  
Weinstein, C I. 108th st and 5th av. Silber- stein & S. Mantels. ....780  
Same. 97th st and Madison av. Same. Same. ....852  
Same. 108th st, 100 ft e of 5th av. Same. ....153  
Walpole, H. 174th st, bet Gleason and West- chester avs. National Mantel and Looking Glass Co. Mantels. ....192  
Wolk, S. 114th st and Amsterdam av. Silber- stein & S. Mantels. ....1,132

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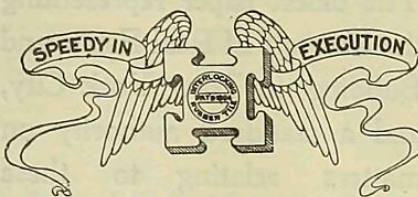
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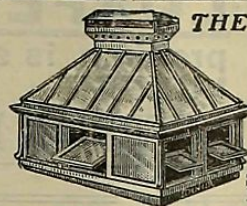
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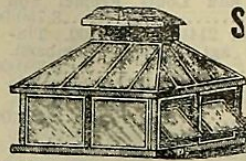
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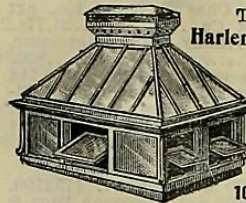
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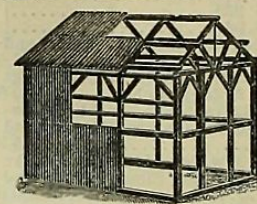
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