

DENOTED TO REAL ESTATE, BUILDING ARCHITECTURE, HOUSEHOLD DEGURATION, BUSINESS AND THEMES OF GENERAL INTEREST.

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THE statement is made on apparently good authority that the Public Service Commission is beginning to be very open-minded on the matter of elevated roads. It has been examining the elevated roads in Berlin and certain other foreign cities and has discovered that they can be constructed in a wholly unobjectionable manner. The elevated structures and stations can be constructed so as to adorn rather than disfigure the streets through which they run; and the trains can be operated with far less noise. Why, then, should New York again fall back upon elevated rapid transit? Record and Guide welcomes this disposition on the part of the Commission to consider at least the possibility of new lines of elevated transit. Elevated trains are assuredly far pleasanter for passengers than are those which run through subways, and if the structures can be made less of an eye-sore the sooner the city returns to elevated tracks for certain kinds of rapid transit the better. We do not want any more elevated roads in Manhattan, because in this Borough, the density of traffic is sufficient to justify the building of subways, but in the other boroughs the case is different. only for short distances over a few main streets that subways can be profitably operated in the Bronx, Brooklyn or Queens. The traffic is not dense enough to warrant the enormous initial expense of constructing subways. In laying out rapid transit routes for the outlying boroughs, elevated roads should be freely used, and this policy would be of benefit to each one of the localities mentioned, because a smaller cost of initial construction would permit and justify the early planning of many additional lines.

PUBLIC opinion in New York is just beginning to understand the importance of the intrusion of the New Haven Railroad into the local transit situation. It has been obvious for several years that the plans of the New Haven for the development of its system in the Bronx and Westchester County demanded a subway from the Harlem River to the Battery; but as long as the willingness of that railroad to build such a subway had not been explicitly announced, any discussion of its effect, if constructed, upon the whole transit situation was more or less in the air. Now, however, that the explicit announcement has been made that the New Haven wants a subway from the Harlem River south, this news profoundly modifies certain practical aspects of the transit problem in Manhattan. It introduces a new and powerful competitor into the field, and the existing situation of this competitor gives it opportunities and rights which should not and cannot be ignored. Hitherto the Record and Guide has always favored the confirmation of the monopoly of rapid transit in Manhattan now enjoyed by the Interborough Company. We have not, of course, believed in granting the Interborough Company additional privileges, except for full value received, and in case that corporation refused to offer full value the city would be justified in building and operating an independent line or system of lines. But provided a fair price could be obtained, the city had more to gain from allowing the Interborough Company to build up a complete system of rapid transit in Manhattan and in the Bronx than by encouraging competition. Competition in such a service merely means waste. Economy is promoted by a monopolized service-properly regulated in the public interest and sufficiently contributory to the public treasury. It is because the Record and Guide believed in a monopolized service that it has opposed the Broadway-Lexington avenue

route as laid out by the Public Service Commission. That route has no meaning, except for the purpose of competing with the existing subway. It parallels the subway from Forty-second Street south, and would, to a considerable extent, merely divide up traffic that already exists, instead of originating new traffic. The interest of the city in getting the greatest possible increase of service for the expenditure of a certain sum of money would be best promoted by an extension of the present subway north from Forty-second Street on the East Side and south from Forty-second Street on the West Side.

HE announcement that the New Haven is ready to build a subway, necessarily modifies the former preference of the Record and Guide for a monopolized service. The Consolidated Railroad has a much stronger claim on the city for an independent entrance into Manhattan than has any other inter-State railway in the neighborhood. After it has constructed either the Westchester or the Portchester branch. it will come down to the Harlem River with over fifteen suburban tracks, and obviously the interest of the people who will use these tracks demands an adequate connection with the business district downtown. No existing transit company in Manhattan is in a position to supply the New Haven road with any sufficient connection, and it looks as if the only possible way the Consolidated road can do justice to its passengers will be the construction of one or more subways. But a subway whereby the New Haven would obtain entrance into Manhattan would be a very different thing from the subways sufficient for the needs of the Pennsylvania Railroad or the Public Service Corporation of New Jersey. The New Haven would need a longitudinal tunnel of enormous capacity, stretching from one end of Manhattan to the other, and capable, consequently, of developing a large local traffic. Such a subway would naturally be independent of the general rapid transit system of Manhattan, yet, just because of the large amount of local traffic it would handle, its route would have to be considered carefully in relation to the whole Manhattan transit system. It would necessarily compete with more exclusively local subways; and competition under such circumstances would be legitimate. To that extent the Public Service Commission should deliberately plan to break the monopoly of rapid transit now enjoyed by the Interborough Company.

THE question is immediately suggested whether the Broadway-Lexington Avenue route would be adapted to the needs of the New Haven road. The Record and Guide does not believe that it would. That route would develop in the course of a few years after its construction, a volume of local traffic hardly, if at all, inferior to that carried by the existing subway, and in that event it would not be adequate to take care of the enormous traffic which would originate along the existing lines of the New Haven road. The New Haven would apparently have its needs much better served by a straighter six-track subway, running south along First or Second Avenue. It might manage to carry its passengers for a few years in the Broadway-Lexington Avenue subway, but after a short while the congestion on that line would probably be worse than that on any single subway or elevated road now being operated in Manhattan. It has always seemed to the Record and Guide that a subway under Broadway should be designed chiefly for local traffic, just because the local traffic along that thoroughfare is so dense, and because the avenue is not wide enough even for four tracks situated on the same level. In case a subway under Broadway is made to carry a large amount of through express traffic the service afforded to the local passengers will necessarily fall below the desirable standard. However that may be, the intrusion of the New Haven road into the rapid transit situation has made it suddenly much more interesting and promising. Unlike the Interborough Company, this corporation is possessed of enormous resources and unimpeachable credit. It is in a position to carry out any plans which it may have drawn, and in arranging to construct a new subway, it is not in the same difficult situation as a It can enter Manhattan under the purely local company. same clause in the Rapid Transit Act which was passed in order to meet the needs of the Pennsylvania Railroad Company for permanent right-of-way. All that is necessary is to reach an agreement with the Public Service Commission and the Board of Estimate as to routes, plans, and terms; and though this may not be an easy task, it is an easier one than the task which confronts any possible competitor for a similar privilege.

MR. LUDLOW'S SCHEME OF BUILDING LIMITATION.

WILLIAM O. LUDLOW, the architect, who is the only other architect besides Ernest Flagg who has proposed a definite scheme of building limitation to the revision commission, considers that while the method of Mr. Flagg is an excellent one in many particulars, it is yet open to some serious objections. Asked by the Record and Guide to give his views with some detail, Mr. Ludlow prepared the scheme annexed hereto. But in reference to Mr. Flagg's plan he first said:

"First, the congestion of the streets would probably not be relieved, for the great area permitted for towers of unlimited height would allow structures of enormous cubage. For instance, on 200 ft. of frontage by 100 ft. depth, on Broadway, towers of unlimited height might be erected on 45 per cent. of the area, and in addition to this on the remainder of these plots height equivalent to fourteen or fifteen stories is allowed. This would, therefore, be opening the door to conditions of congestion many times worse than now obtain, except in two or three spots. It is to be remembered in this connection that the average height of buildings now on Broadway, between State and Chambers sts, is only nine stories on the west side and ten stories on the east side.

"My suggestion to obviate this objection would be to divide by six to obtain the permissible area of towers, where Mr. Flagg divides by four. This would still permit such towers as the Singer Building and Metropolitan Life, but would make towers on the narrower streets practically prohibitive.

'In the second place, Mr. Flagg's provision for pyramidal building, which is in effect a vertical wall up to a cornice line, with an extended mansard or stepped back portion above, is excellent, but is not altogether logical or practically efficient, from the fact that he proposes to allow on streets, however narrow, buildings of the same height as on wide streets. Nassau st lined with buildings eight or nine stories high to the cornice line, and with possibly five or six setback stories above that, would be immeasurably worse that it is at present.

"I therefore suggest making heights a function of the width of the streets. By the regulation I proposed, 100-ft. streets, excepting on corners, would have buildings 100 ft. to the cornice line, and a setback height of about 50 ft. above that. On 60-ft. streets the cornice line would be about 78 ft., with the setback stories for 50 ft. more, and on such a street as Nassau st, the cornice line would be at about 60 ft., with setback stories above as before.

"My suggestion further provides that corners may be built one story higher than the highest adjacent roof line, need have no setback of the facades and not be limited as to area. This, I believe, will obviate the difficulty that might otherwise be experienced in bringing facades of unequal height to a point of meeting; will permit uniform height on triangular plots; and will make possible a good architectural effect.

"Mr. Flagg also provides for facades vertical to the top for corner plots, but makes these plots difficult to build upon satisfactorily by imposing the same requirements of unoccupied area as for all other plots.

"I also make suggestion as to what constitutes a corner plot.

"Third: Along the water-front and facing public squares and parks, I am of the opinion buildings may well be considerably higher than elsewhere. My suggestions, therefore, provide an additional 50 ft. for such localities, and a more liberal allowance of area for towers of unlimited height.

"In making these suggestions I have copied verbatim large portions of the plan submitted by Mr. Flagg, as they could not well be improved upon."

MR. LUDLOW'S SUGGESTIONS RELATIVE TO THE LIMITATION OF BUILDINGS.

1. The percentage of area to be left vacant for light and air shall increase progressively as the building increases in height. To ascertain said percentage at any level, divide twice the square of its distance above the curb by one thousand; but for dwellings or hotels this percentage at any level more than 18 ft. above the curb must not fall below 10.

2. Notwithstanding the foregoing, a certain portion of any plot may be built upon to any height. To ascertain this area, add to the area of the plot one-half of the area of the street or streets opposite the facade or facades of the building and divide by six.

3. An owner of land may, by purchase or otherwise, acquire the rights of adjoining land for the purpose of building higher than as hereinafter provided on his own land over an area proportioned as provided in paragraph 2 to the combined land area of which he controls the above mentioned rights. The Superintendent of Buildings shall, upon such agreement having been properly executed and filed, grant the application for such extension of area on which the height may be unlimited, and the right to exceed heights as hereinafter provided for shall thereupon cease on said adjoining land.

4. The height of any building at the building line, except on corner plots, shall not exceed ten times the square root of the

width of the street upon which it is located, and no part of the building shall extend in height beyond a plane formed by the building line at this height, and a line normal thereto inclined away from the street at an angle of sixty degrees from the horizontal. Nor shall any building extend above the height of the aforesaid inclined plane at 30 ft. back from the building line

5. Corner plots which shall be considered as occupying 50 ft. on each street, and of not more than 2,500 square feet in area, by exception from the foregoing, will be unrestricted as to the percentage of area occupied by any building erected thereon, and such building may be erected to a height not to exceed 15 ft. in excess of the height as determined by paragraph 3 allowed for any adjoining building.

For purposes of computation, all public squares and parks shall be considered as streets of like width. Streets bordering the water-front may be considered as 200 ft. in width, but all other streets will be measured from building line to opposite building line, but in no case will they be considered as more than 200 ft. in width.

The area of the street or streets referred to herein is to be computed in each case by multiplying the average width of the streets from building line to building line, by the length of the facade along the building line of the lot.

CREDIT TO THE DESIGNER.

An article by Montgomery Schuyler in the Architectural Record suggests to the editorial mind of the Western Architect one point in architectural practice that has not changed since the days of McComb (the architect of the City Hall). And this is the position of the draftsman-designer in an architect's office in relation to his design:

"One hundred years from now, when they talk about the designer of certain buildings, it will take this same kind of investigation to prove that the architect credited with the work was not the designer, because his name alone was on the plans. There ought to be some way of putting the 'draftsman' who designs great things for 'architects' on record in due proportion to work he has done. In the laying out of Washington, L'Enfant gets the credit due him in part, though he is overshadowed by the name of Washington, who was at best a country surveyor, and had never seen Versailles or any of the landscape work that L'Enfant was undoubtedly familiar with, both as a student and as an observer.

"But we who know a great many things that are not published, but like 'justice' in the Schuyler article, wish to see justice done, would like to do the brass-plate act very often in our travels through the vale of architectural mendacity. We do not say a word when we are shown a special sketch (on onion skin) of 'my first conception,' we are assured, for the dome of a prominent building some time after we have written a draftsman pointing out that we recognized it as a replica of the dome on an unsuccessful competition design submitted by him years before, and charging him with being the real designer.

"Of course, there are cases, and they are in the majority, where the architect really does sketch the outline and general scheme of a structure and leaves the draftsman to do the rest, so after all it would be difficult to record just the credit that belongs to him. But some method should be devised by which the designer should have credit for his design in the records of the structure."

DEATH OF THOMAS L. HAMILTON.

Thomas L. Hamilton who, with his brother, Alexander Hamilton, conducted the business of John L. Hamilton & Sons, carpenter builders, 348 West 27th st, died Friday, Aug. 21, at his home, 342 West 27th st. Mr. Hamilton had been ill for a number of years and had recently returned from Europe, whither he had gone for treatment.

Mr. Hamilton was 49 years old and was born in New York. His father was John L. Hamilton, a successful builder. The son became a member of the firm of John L. Hamilton & Sons a few years after he graduated from the public schools, and continued as such until his demise. The firm participated in the construction of some of the finest structures in New York, notably the Knickerbocker Hotel. Others are the Dakota apartments, the row of buildings on 73d st owned by the Clark estate, and the Lakewood Hotel. Many of the handsome residences at Bayside, L. I., were put up by John L. Hamilton & Sons, who took a leading part in developing that section.

Mr. Hamilton took an active part in politics. He was successively a Commissioner of the old Board of Electrical Control, Republican candidate for Sheriff, candidate for County Clerk, member of the bi-partisan Board of Police Commissioners, treasurer of this board, County Clerk and Republican member of the Board of Tax Commissioners.

—A mortgage made five years ago at 4 per cent. would not be renewed at that rate to-day. As a mortgage broker you should have a list of these. This list is given in the Record and Guide Quarterly.



CONSTRUCTION



THE SCHOOL BOARD. CONSTRUCTION POLICIES OF

COMMUNICATION from the Building Committee of the A Board of Education to the Hon. Edgerton L. Winthrop, Jr., president of the Board, in regard to the extension of time certain contracts for school work, contains much precise information in relation to the construction policies of the Board and the state of building affairs in the Department of Education at the present time. Contracts awarded by the Board of Education for the erection of buildings have been held in abeyance in the Department of Finance, as set forth in the report. The Municipal Builders' Association held a conference this week at which the situation was discussed. The fundamental trouble, undoubtedly, is the condition of the city treasury. The report follows:

Hon. Egerton L. Winthrop, Jr., President, Board of Education:

Dear Sir:-The Committee on Buildings desires to acknowledge receipt of your reference to it of the communication of the 4th instant from Hon. Herman A. Metz, Comptroller, relative to an alleged violation of the By-Laws of this Board by this Committee in granting extension of time on certain contracts and of the passing of partial payments, where, although the work is incomplete, yet the date for final completion has expired.

Careful consideration has been given to the subject matter contained in the letter and your Committee wishes to have it most clearly understood that neither it nor the Superintendent of School Buildings has at any time, as stated, usurped the functions of the Board of Education.

The Comptroller cites eleven contracts, from which he makes the deduction that the contract time has been exceeded in the aggregate by 2,263 working days, or 61/2 years, entailing upon the contractors a total penalty of \$57,160, of which amount the Board of Education has retained the sum of \$35,776.75, leaving a deficit of \$21,383.25. This, on the face of it, would indicate rather a serious state of affairs, and it is with not a little pleasure that your Committee makes use of this opportunity to clear away the misapprehension of facts which seems to exist. The settled policy of your Committee has been that allowances of time as provided in the contract must be made:

allowances of time as provided in the contract must be made:

(1) On new buildings and additions where the progress of the work has been interfered with through delay in (a) delivery of site so that work might proceed; (b) in the making of payments; (c) to non-installation of equipment by the Board either through lack of funds or other causes.

(2) On equipment contracts for new buildings and additions when the progress of the work has been interfered with through delay (a) in making payments; (b) in the letting or certification of a contract so that conditions other than normal prevail in the carrying out of the work, as, for instance, weather or the presence of children in and about the premises.

(3) On repair contracts; (a) where delays occur through no fault of the contractor, so that conditions other than normal prevail in the carrying out of the work; (b) when the work was substantially completed in contract time, which necessarily must be short, and the finishing does not cause damage or inconvenience to the schools.

has been held also that allowances of time must be made inclement weather and strikes over which the contractor may have no control, provided that in the judgment of the Committee the circumstances were such as to make it practically impossible for the contractor to have complied with his contract.

These rulings, excepting (b) paragraph 3, are based upon the well-settled principle, that when the City or its agents or servants, for whatsoever cause, have impeded the progress or regular course of construction of the work, the contractor is not liable for a breach of his agreement to complete the work by a certain time, and that a contractor cannot be held to perform impossibilities. Further, that liquidated damages can-not be exacted where the work was substantially completed within the contract time, or where possession has been taken and use made of the premises or equipment prior to absolute and final completion and acceptance. The contracts impose upon this Committee the duty of computing and determining what these allowances of time shall be, something evidently confused with so-called extensions of time.

Following, therefore, these rules in determining the merit of

a contractor's claim for allowances of time or in the making of partial payments as work progresses, although the date for completion has been reached, the contracts cited by the Comptroker will be taken up and tested in accordance therewith.

(a) "Contract No. 17,012, P. J. Brennan & Son, general construction of additions to and alterations in P. S. 59, Manhattan; amount of contract, \$151,500; contract time, 200 days; contract certified by the Comptroller October 22, 1906; number of elapsed working days, 534; overtime, 334 days; penalty, \$50 per day; total penalty, \$16,-700. Work incompleted."

The correct amount of overtime is 2961/2 days and is of importance in the consideration of the case, as the following will

dition to Public School 59, in East 57th st, near 2d av, made to P. J. Brennan & Son, the lowest bidder, on September 17, 1906. At this point the contractor was entitled to begin the work of excavation, but the premises were still occupied by the former owner as marble works. Title was acquired April 13, 1906. Request was made in May to the Comptroller to clear the site of buildings, and turn same over to the Board The sale of the buildings was held on June 8, under the requirement that they be removed within sixty (60) working days thereof. This would have cleared the site by August 25, 1906, and permitted prospective bidders to know the precise conditions of the premises prior to the opening of the bids September 17, 1906. The contract was executed September 29, 1906, and certified by the Comptroller October 22, 1906. The buildings were not then removed and the contractor states that they remained intact and occupied by the previous owner until February 1, 1907, notwithstanding repeated appeals to the Comptroller by the contractor and his attorney, also the the Building Committee and its chairman in person.

The delay in the certification of the contract and the clearing of the site threw the work forward into cold weather, and we shall now be called upon to defend a suit for damages brought by the contractor. Further delay was caused the contractor through the inability of the Board to let the contracts for electrical and heating work until late in the fall of 1907, because of financial conditions. The precise number of days of delay is in each case shown by the records, as when ready for certain work and when that is provided, but the general contractor's claim for contingent delays owing to scattering of his working forces is one difficult of adjustment until the work be practically completed.

The building is and has been substantially completed for some time, but Brennan & Son claim that they will not finish up until they receive the payment of \$11,900 passed by this office on May 18 last, and now in the office of the Comptroller. actual delays irrespective of those which are classed as contingent will more than offset the excess of time, added to which we will be called upon to defend a suit at law. All of these facts are within the knowledge of the Comptroller's office.

(b) "Contract No. 16,797, Peter Cleary, general construction of P. S. 94, Brooklyn. Amount of contract, \$288,800; contract time, 300 days; contract certified by the Comptroller September 19, 1906; number of elapsed working days, 516; overtime, 216 days; penalty, \$50 per day; total penalty, \$10,800; remitted by Building Committee. Work completed."

Work proceeded well under this contract until Cleary had difficulty in getting his eighth payment of \$14,875, forwarded to the Comptroller on July 19, 1907, as it was not until August 21 that he received it, a portion being in city bonds. that time on there were 252 days' delay in Cleary receiving his money, and naturally we were in no position to urge him to greater speed. Further, the building could not be completed by Cleary until the heating work was in place. This the Frank Dobson Company refused to go on with, even withholding the delivery of the radiators in December and January last until they received their money from the Comptroller, which was accomplished only through the personal efforts of yourself as President of this Board. The building was occupied March 31, 1908, having been practically completed January 20, 1908, as far as Cleary was concerned. When this final was up for enquiry and action by this Committee the records showed 621/2 days overtime up to date of occupancy, but this was allowed in view of the holding back of the work by the heating contractor, due to non-receipt of payments when due, as well as for the same reason as applying to Mr. Cleary, there being The total delays for these causes above no other course open. nearly equal the original time.

(c) "Contract No. 19,824, Peet & Powers, electric equipment, P. S. 140, Brooklyn; amount of contract, \$4,560; contract time, 100 days; contract certified by the Comptroller, October 11, 1907; number of elapsed working days, 235; overtime, 135 days; penalty, \$10 per day; total penalty, \$1,350. Work incompleted."

The completion of this contract was dependent upon the progress of other work. The building would have been completed last fall, but owing to financial conditions the heating contract could not be let until March 30 of this year. The two furniture contracts were awarded April 8, and forwarded to the Comptroller for certification May 8 and May 11, respectively, for certification as to financial ability, and which up to date have not been returned. The electrical work of Peet & Powers cannot be all completed until the furniture be in and the building is ready for use.

(d) "Contract No. 18,750, Frank Dobson Co., Inc., heating and

ventilating plant, P. S. 27, Manhattan; amount of contract, \$52,349; contract time, 130 days; contract certified by the Comptroller, June 6, 1907; number of elapsed working days, 350; penalty, \$35 per day; total penalty, \$7,700 for 220 days overtime. Work incompleted."

The construction of the building in two parts was made necessary by the presence of the old school on a portion of the site. The general contractor was delayed several months by the forcible stoppage of the work by another city department. This was entirely unwarranted, the work finally proceeding upon the original lines, but it threw the construction forward into cold weather, for which the contractors claim not only damages and delay as shown by dates of notice to stop and to proceed, but contingent delays also. Dobson's contract cannot be completed until the second half of the building is finished, but his work in the first or main portion of the building covering three-fourths of the site is now and has for some months past been practically completed.

(e) "Contract No. 19,822, Gillis & Geoghegan, heating and ventilating plant, P. S. 151, Brooklyn; amount of contract, \$5,675; contract time, 100 days; contract certified by the Comptroller, October 15, 1907; number of elapsed working days, 236; overtime, 136 days; penalty, \$10 per day; total penalty, \$1,360. Work incompleted."

This work consisted in completing an unfinished contract, which had been declared abandoned by the Board of Education. The building was and had been occupied for school purposes, the heating apparatus being in use and the contractors therefor could only be permitted to work at such time as to not interfere therewith. Final completion cannot be had until electrical service can be secured, for which we are now waiting. We have thus taken up the first five items just as they appear in the Comptroller's letter, and an examination of the other items show that the delays were for the same or similar causes, are covered by the foregoing, and there seems to be no need, just at this moment, of going into further details, which can be supplied at any time. There has been a rule of the Finance Department of several years' standing that leads a contractor in estimating upon work to expect payment of vouchers within ten days of the date they are filed with the Comptroller. The contractors claim that this has not been lived up to during the past year.

These delays in payments in the case of Public School 94 alone, since July, 1907, according to the record of receipt furnished by the contractor, vary from 5 to 72 days, or a total of 275 days, after allowing 11 days on each of the nine payments made during that interval for the usual examination and certification in the Comptroller's office prior to the issue of warrants. The reason is undoubtedly well known to all of us, as the city was not exempt from the money stringency which has affected the business world for nearly a year past, but persons unfamiliar with building matters do not know that when payments to sub-contractors and material men cannot be promptly met that future needed labor and material will be diverted to those channels where prompt payment can be had, and that once engaged on such a piece of work, the sub-contractor does not willingly return to push along the work on the schools. is well understood that prompt payment is a very essential factor if the work is to be completed within contract time.

The Comptroller takes exception apparently to action by this Committee on so-called "extension of time" being deferred until the work be complete and ready for the issuing of the final payment. This view seems to have arisen from the fact that what are really allowances for delays which must, according to the contract be determined by the Committee, have been familiarly known and termed "extensions of time." The Committee has held the same view as that indicated by the Comptroller, that action should not be delayed until the completion of the contract and in pursuance of this, approved the recommendation made by the Superintendent some time ago, "that in cases when the contract time had expired and the work was not completed, delay being through no fault of the city, the amount per diem of liquidated damages be deducted from each partial payment as it be earned, and the settlement of the question not left until the work is entirely completed; then to be taken up in considering a final payment."

The Committee was later advised by the Committee on "Bylaws" that however inconvenient it may be, the deduction of liquidated damages must await "the final completion of the Your Committee is constantly considering the quesbuilding." tion of delays in the carrying out of the various works, and it is therefore familiar with the details; and the appellation of "a blanket extension," as used in the Comptroller's communication, is scarcely applicable, as it implies a lack of knowl-

edge, which is certainly not the case.

The contention of the Comptroller that paragraph 9 of section 30 of the By-Laws requires action by the Board of Education on all extensions of time is one your Committee does not dispute. It does most earnestly dispute, however, the allegation made that this Committee, through its action in determining and fixing allowances for delays to which the contractor would be justly entitled in any court of law, has in any way held back the otherwise early completion of work.

Moreover, the contractors have not obtained the idea that the time clause means nothing, but as some say they take the

risk that the city, through some department or some cause, wi'l commit such acts either of omission or commission as will justly entitle them to an allowance of time. That this works out in practice is shown by examples "a" to "e," inclusive, in the earlier part of this letter. There is undoubtedly a divided responsibility as there must be in all city governments, but the delays and dissatisfaction referred to by the Comptroller are nothing compared with that which will ensue at the non-completion of schools this fall owing to the noncertification of contracts now in the hands of the Comptroller. The present Chairman of this Committee was acting Chairman for a certain time in 1902 and 1903, and brought about through the co-operation of the then Comptroller the final certification of contracts within one week of their approval by the Board of Education. In fact, some were acted upon in less than one week, and knowing these to be facts, we cannot understand why there should now be a delay of weeks and months in the doing of something requiring but a few days.

Work is delayed and the interests of the city menaced by

such inaction. This Committee has let many equipment contracts, affecting schools under construction and to be finished at an early date, since the funds were granted therefor by the Board of Estimate and Apportionment, on March 13, 1908. Of these some 89, affecting about 35 schools, were yesterday reported as being in the hands of the Comptroller for either the approval of the sureties or for final certifications of financial ability, which certainly should be simple, in view of the special appropriations above referred to.

These contracts have been forwarded at various dates, some extending as far back as April, and it may well be that in September or later the Comptroller will demand to know why there is a delay in completing schools, and why there is any necessity for making any allowances of time, on either these contracts or on those preceding and dependent upon them for possibility of completion. This same delay affects also the 12 new buildings, contracts for which have been awarded by this Board and forwarded to the Comptroller in May and June. Contractors are complaining of this condition of affairs, as well as of the fact that they are unable to obtain the return of their certified checks, some of which amounted to thousands of dollars, deposited with the bids, until action be taken by the Comptroller. One man, who has had seventy-five hundred dollars thus tied up since July 13, has notified us that he will hold the Board responsible for damages and interest.

In view of these conditions, your Committee some weeks ago decided to discontinue the letting of further contracts, unitl the Comptroller had acted on those he now has before him, as it resulted only in tying up the money of contractors without our making any progress. In conclusion, your Committee begs to state that in its opinion, based on practical experience of years in this work, that the speedy completion of schools now under construction, and those for which contracts have been let during the past few months, is simply an utter impossibility, without the hearty co-operation of the Comptroller, which, in view of delays in payments and the certification of contracts, this Board certainly has not been receiving.

> (Signed) GEO. W. SCHAEDLE, Chairman, Committee on Buildings.

New York, Aug. 12, 1908.

A RETROSPECT OF AN ELECTRICIAN.

N article by Professor Elihu Thomson, bearing this title, A appeared in the May issue of the General Electric Review. It is exceedingly interesting and instructive, showing the enormous development and growth of the electrical manufacturing industry, and the limited facilities that had to be contended with in the early days. Mr. Thomson says in part:

"One has only to visit the shops of a large electric manufacturing concern to-day and to notice a great variety of stock and material found in store and stock rooms, to be impressed with the fact that modern results come about by a combination of highly developed organization and methods. As an example, one may watch the elaborate machinery in the form of punch presses and the like, which have to deal with the manipulation of sheet iron or steel in the armature core of the dynamos and motors, without realizing that all of this development is but recent."

After describing the limited materials that were at hand in the early days, the article continues:

"Oftentimes the machine equipment was, as in lathes, planers, etc., so restricted that the designs had to be adapted, as it were, to the restricted manufacturing equipment. For example, work that ought to have been taken with one cut on a large planer was very frequently made on a small machine by turning the work about to make separate cuts; and the designs of apparatus were frequently made to avoid the use of tools which did not exist, or which existed in very restricted sizes or number.

"Some of the vagaries of design in dynamos and other machines were due to certain ideas which acted as fetishes, and which have since disappeared. Such, for example, was the idea that a drum armature should be of very great length, so that the idle wire, that is, the wire over the ends, would be small in amount in relation to that which was along the side of the drum."

Many interesting conditions were encountered in the pioneer days of electrical manufacture.



THE ARCHITECT WHAT HE HAS DONE RECENTLY AND WHY HE DID IT.



THE HAMBURG-AMERICAN COMPANY'S OFFICES.

The New York offices of the largest steamship company in the world, recently completed at 45 Broadway (the former Aldrich Court), are among the very handsomest in the city. The central room particularly, where the lighting from above permitted the introduction of a glass dome, was sumptuously treated in the style of the French Rennaissance. The walls are covered with an almost white so-called Italian statuary marble, interspersed with pilasters and posts, which are covered with a magnificent French marble called "Breche Fleurie." Two female figures, modeled by Mr. Goudard, of Goudard & Bussard, are far above the realm of commercial art. They form keystones of the large easterly and westerly arches, and represent the emblematic figures usually found at the prow of a ship. Four cartouches in the corners of this central room are crowned by heads representing Neptune, and the accom-

A GERMAN ON NEW YORK ARCHITECTURE.

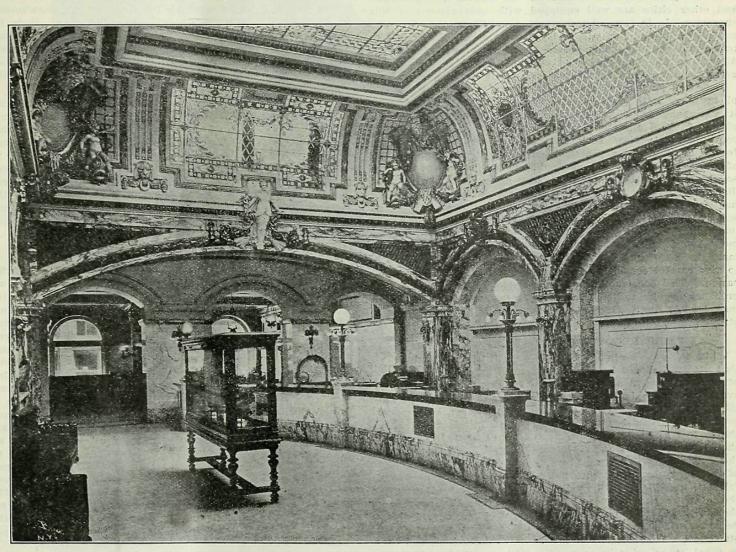
APPRECIATION OF THE NEW YORK LIBRARY.

Prof. Gustave Eberlin, of Berlin, who recently visited here, has written in the Vossische Zeitung a critical appreciation of the cultivation of the fine arts in America. Of the architecture of New York he says.

It is preeminently classical, and every style of France from the Kings down to the Emperors is represented. The more recently finished monumental buildings are redolent of this style as well. The architects have largely copied from Italian, Spanish, and mediæval palaces, but have spoiled their effects by hemming in their creations in narrow, dirty streets.

That many of our public buildings have inferior sites is a subject of regret to Prof. Eberlin:

A number of buildings, beautiful in themselves, pearls of splendid chitecture, lose all their charm, notwithstanding their costly architecture.



(From the Architects' and Builders' Magazine.) CENTRAL ROOM OF THE NEW HAMBURG-AMERICAN OFFICES.

45 Broadway.

R. L. Daus, Architect.

panying children are dragging nets. Shell fish and other inhabitants of the deep are used in the treatment of the ventilating registers, and dolphins and seashells are the component parts of the lighting fixtures. All the emblematic features, whether in marble, bronze or other material, are taken from the sea, the domain of the steamship company.

In order to give the owner adequate quarters, Mr. Daus built up three stories in the old interior court. The offices are arranged with a high regard for the comfort and health of the army of employees, among other features, being a very complete ventilating apparatus. The air for this purpose is taken from above the roof, is filtered, heated, distributed through the building and expelled above the roof. The architect did well a'so to remove the old tortuous and inadequate entrance to the building and to substitute a liberal, practical entrance, which gives access to an entire'y renovated and handsome hall of fine large dimensions.

materials by their unsuitable sites and are scarcely noticeable. A splendid building, for purity of elegance and style the like of which I have seen in no other city, is the library of Carrère & Hastings. New York is to be congratulated on this classical masterpiece, which is not yet quite finished. When in the evenings I used to wander through the deserted, badly lit streets, hardly passable for deep holes in the asphalt, having escaped from the breakers of the roaring tramcar traffic of the avenues, I used to fly for refuge to the splendid Greek portal of this building, at the sight of which my soul derived fresh impetus.

Prof. Eberlin believes that the future will bring with it a "monumental style" which will overcome all the difficulties of building in America's crowded cities. He finds that the rough physiognomy of the skyscrapers on Wall st and along the banks of the Hudson has a peculiar attraction. The monster masses, rearing their picturesque roofs to heaven in the twilight of a winter day and lashed and swept by the snow storm, have a disjointed splendor which all the architectural elegance in other buildings cannot convey.

PUBLIC COMFORT STATIONS.

By JOHN K. ALLEN*

MUNICIPALITIES are lavish in expenditures for park purposes, for boulevards and for monuments, but are neglectful in providing conveniences which will be appreciated alike by the rich and the poor, but especially by those who are not welcome in the stores, hotels or office buildings. The well-to-do business man has his office or his club. For the aristocratic shopper abundant provision is freely made. For the sight-seer, the laborer, the newsboy, no provision is made. Surely this is not only short-sighted, but unjust.

The public convenience station is not a new thing to the older cities of Great Britain and the continent of Europe, in which they are to be found with pleasing frequency. In London each parish has erected and maintains its own convenience stations and many of them are models of construction. Most of them are constructed below ground, but where possible to construct above ground it far better as the beneficial effects of sunlight and air are secured. Glasgow, Edinburgh, Birmingham, Manchester, Dublin, Aberdeen and many smaller British cities have found the public convenience a necessity and are operating them under the fee system at a comparatively small cost. In Paris the public convenience is frequent enough, but is open to serious objection because it is neither cleanly nor private. There are great steps to be taken in the construction and operation of these stations in that enterprising city. In Berlin, Dresden, Munich and other German cities, there are fine examples of public comfort stations to be seen, combining both utility and artistic treatment. In Denmark, Copenhagen and other cities are well equipped with conveniences of this character. In fact, go almost where you will among your older sister nations and you will find this very necessary adjunct to public comfort bountifully provided. In America we have been dilatory in following this good example, but it is a matter of great encouragement that rapid progress is now being made.

In New York the first public convenience was opened in Astor pl in May, 1869, and after a varying period of usefulness, it was abandoned because it was found to occupy too public a place. In 1896 a measure to give a monopoly of such public conveniences in New York to a private corporation was defeated, as it meant a practical surrender at a nominal rental of streets, avenues, parks and public places to a company who sought for a small sum the privilege of erecting kiosks to be disfigured with advertisements. More recently New York has erected numerous beautiful and well equipped stations and sets an example to other American municipalities which is very There is no doubt that within the next few years inspiring. most American cities will be forced by an educated public demand to install public convenience stations, and it will be well to give careful consideration to some features of general appli-The construction of any single station will involve problems peculiar to itself, but there are general principles which may be laid down which should govern the location and construction of this class of public utility. * * *

EITHER BELOW OR ABOVE THE SURFACE.

While the practice in London has seemed to make it desirable that stations should be constructed under ground, the opinion of sanitarians must always be that such stations should, whereever possible, be built above ground, but if it is not possible their construction should not, because of that fact, be neglected because they can be built and operated satisfactorily below the surface. Should they be erected above ground, great care should be taken to make their architectural appearance satisfy the demand for beauty. There is no reason why structures of this class should not be artistic, and there are many beautiful stations which may be pointed to as examples. Even when the stations are constructed under ground, the approaches thereto should be given artistic treatment. There should always be substantial and specially designed railings protecting the stairways, either of stone or bronze or wrought iron, and there is great opportunity in connection with ventilating shafts for the construction of clock towers and ornamental lamp posts. Indeed, it should be especially designed and not be of a stock pattern.

It may here be pointed out that, wherever possible, these structures should be so embellished with plantings of shrubs and flowers that the eye will be drawn to them as points of beauty, rather than shun them as repulsive objects. The practice in European cities teaches us that this is perfectly feasible, and the result as seen in some German examples is very satisfactory. The rights of contiguous property owners should be consulted and the design of the exterior be open to the least possible objection from that source.

The arrangement of the respective entrances for men and for women should be so designed as to remove a very natural dislike to their use. If possible they should be concealed from each other, and in any case they should be as far removed from

*Member American Society Inspectors of Plumbing and Sanitary Engineers, member Royal Sanitary Institute. From a paper read before the Commercial Club of St. Paul, Minnesota, and printed in Domestic Engineering.

each other as the conditions surrounding the site will permit. Not only should the exterior and the approaches to a public convenience be of such a character as will educate the public taste, but the interior and its equipment should be so perfectly designed that use of the station will tend to elevate the sense of decency rather than degrade it.

INTERIOR ARRANGEMENTS.

In designing the interior of a public comfort station the architect and engineer will seek a simple, open, practical plan, with the passage-ways straight and wide; this design will not only prevent congestion when the station is used by crowds, as—if it is well located—is sure to be the case, but it will permit all parts of the room to be within sight of the attendant. The design should permit a visitor to see all portions of the room immediately he enters the door, and the most used portions should be nearest the entrance. The purposes of each portion of the room should be so self-evident that it will be unnecessary to consult an attendant.

The designer will also bear in mind the principal purpose of such a station, and if provision is made for boot blacking stands, newspaper counters, checking windows and telephone booths, these should be so subordinated to the main features of the station. In designing stairways there should be ample provisions for easy treads and strong hand rails, and winders should be avoided. They should be well lighted and, if possible, enclosed to avoid the danger caused by rain or snow.

Bearing in mind the essential feature of always having stations of this character in charge of attendants, the designer should provide an ample room for the storage of supplies, tools and appliances. Where space—and appropriation—permits, it is wise—especially in connection with the women's department—to have an emergency room, provided with cots. It is frequently possible in stations constructed above ground to have a cellar underneath the main floor, in which may be located the heating plant, together with all the necessary pipes and wires. This permits a better heating system and accessibility of water supply and waste pipes.

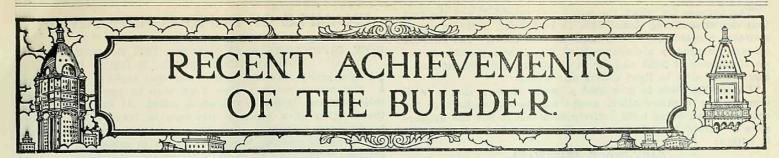
Bearing in mind that the use of the stations is practically constant and in that respect differs from the toilet conveniences installed in private houses, it will be seen that only the highest grade fixtures should be installed, as the use is not only constant but severe. It will also be very desirable if all of the flushing mechanism of the plumbing fixtures shall be so constructed as to be hidden from the user and subject to the control of the attendant. It should also be borne in mind that there should be no fixtures which may be detached and carried away, as there is a regrettable haziness in the minds of many persons as to the sacredness of public property.

HEATING AND VENTILATING.

In New York City the first stations constructed were without heating apparatus, but it was soon discovered that this was a vital defect and it was remedied immediately. No station should be constructed in a cold climate without a heating equipment, and this can be either steam or hot water, or, in the very near future, electricity. The heating system should be designed in connection with the ventilating system so that the air may be kept perfectly pure at all times. This is perfectly practicable and not expensive. It has been found possible to lead ventilating shafts up through handsome ornamental columns, through especially designed lamp posts, and in some cases up to and through a concealed back to street refuse boxes placed along the curb edges, and sand bins and guard posts have also been utilized for ventilating shafts for ingress and egress of air. There should be an adequate supply of hot water for the lavatories and also for cleaning purposes. The limited space at this disposal of the designer will cause him to plan a very compact boiler room, in which the steam or hot water heating boiler, hot water supply, electrical switchboard, etc., all find a place. There should be an ample supply of illumination, either natural or artificial, and there should be no dark corners permitted where dirt may escape the eye of the inspector.

Sanitarians are becoming increasingly insistent upon the beneficial effects of sunlight, and the great advantage of above ground stations, where possible to have them, is principally upon this account. Contrast a public comfort station having sunlight streaming into it with one built underground and lighted artificially, and even if the latter be well designed and admirably cared for, the comparison will always be to the advantage of the sun-lit room. Because of the beneficial effects of light and air, it will be better to locate stations which have to be built in the cavernous highways of great cities, on north and south thoroughfares, rather than in those running east and west. At some portion of the day the sun's rays may penertate to such a location and better ventilation is thus assured.

The plumbing fixtures, as indicated, must be of the very best character, and it will be very advantageous if the designer of a public comfort station shall so plan his fixtures that the wastes may be grouped so that access may be had to all of the waste pipes without tearing up floors. It will be well if the closets are placed back to back, with a gallery between, large enough to permit a workman to have acces at all times to the flushing apparatus.

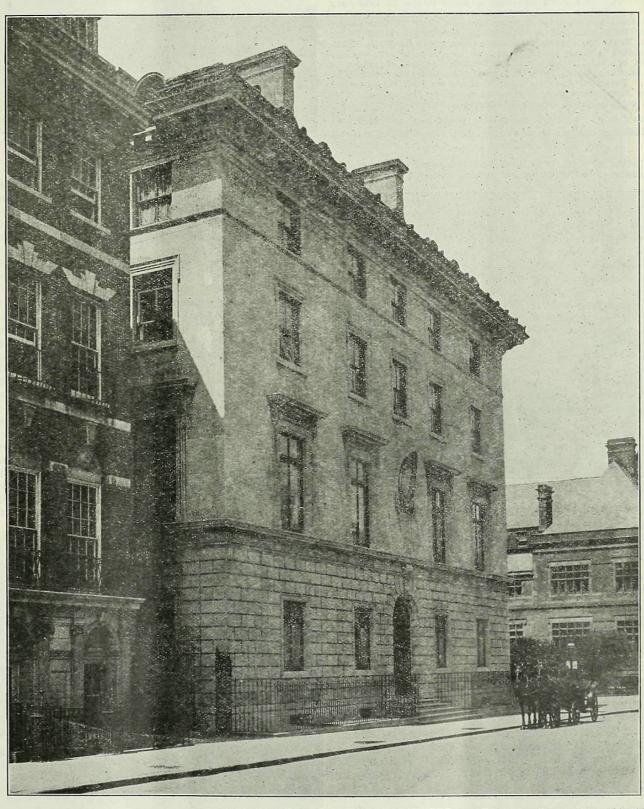


THE ROBERT S. BREWSTER HOUSE.

WILLIAM ADAMS DELANO says that to build a house well requires the willing compromise and collaboration of three people—the owner, the architect, and the builder. Ordinarily the architect receives his program of requirements from the client, and, after much consultation and many changes, the plans are finally drawn and the house built. The product is a compromise between the ideas of the client and those of the architect; there is little or nothing to distinguish it from

where he can count the stories both above and below the cornice line it appears as a dwelling of exceptionally large dimensions, possessing most of the attributes of dignity and comfort. Mr. Delano, of the firm of architects, says of the house, in a description accompanying the plans and photogravure prints in the "New York Architect," that it was fortunate in having and holding the interest of the three people most concerned in its success. He adds:
"The program called for a house to be used for entertaining,

but entertaining on a small scale. It was to be a house for



S. E. Cor. Park av. and 70th st,

HOUSE OF ROBERT S. BREWSTER. (From the New York Architect.) Facade on Park Avenue.

Delano & Aldrich, Architects.

its neighbor, and still less to be said about it, either as an architectural personality or a work of art.

The Robert S. Brewster house, at the southeast corner of Park av and 70th st, is one of the most distinguished-looking houses of the recent constructions in that quarter of the city. In the illustration it appears as not one of large proportions, which it in reality is; nor one to be classified with a pro-nounced architectural style. But to the man on the street

dinners primarily, and not for dances or large gatherings. The dining-room and reception room were, therefore, placed on the ground floor, as near the level of the sidewalk as possible, and of necessity the pantry, and men and women's coatrooms, and other like service, had to be arranged on the same floor. The drawing room and library were called for on the second floor, The and above that the ordinary bedrooms, sitting rooms, and bath rooms for the family.

"The purpose for which the house was intended, and the fact that the entertaining rooms were on two floors, made an ample staircase necessary, with big halls on both floors. The building lot was fortunately a corner one, so that it was possible to get an abundance of light and air in all the rooms, without undue sacrifice of area to light courts and wells.

"Externally there is presented a house of very simple, with scarcely any ornamentation, except for the cartouche over the entrance; but, being built entirely of stone, it has the appearance of durability and elegance. The real beauty of the house is within:

CAEN-STONE STAIRWAYS.

The vestibule and entrance hall are built of Caen stone with low plaster vaults. The finished floor is of black and white marble, laid in squares of equal size. The staircase leading to the second floor, is built of Caen stone with an ornamental iron ramp and velectors and headers. covered handrail.

The reception room is simply panelled and for enrichment some low relief ornament has been used. The room is painted in three shades of gray. The mantel is of white Italian marble with bronze applied ornaments.

HIGH CEILINGS

HIGH CEILINGS.

The dining-room is panelled to the ceiling and painted a shade just off of the white. It has no gilding except around the mirror over the mantel. This room and all the other rooms on this floor are 12 ft. 6 ins. high in the clear from floor to ceiling.

The staircase leads from the entrance hall on the first floor to the second floor hall, which is more properly speaking a large living room, 30 ft. by 18 ft., containing a large Caen stone fireplace. This room is panelled in small panels from floor to ceiling in oak, and the ceiling itself has small beams running from one side of the room to the other, between which color ornamentation has been applied to the plaster. This hall has two large windows on 70th st, on either side of the fireplace, which is directly opposite the stairs. The same stone staircase runs from this floor to the third floor.

The library is at the Park av end of the house and has two windows looking out on that avenue and one looking out on 70th st.:

Up to a height of $8\,$ ft., it is lined with bookcases or wainscoted, he wood employed is Circassian and French walnut, and the mantel

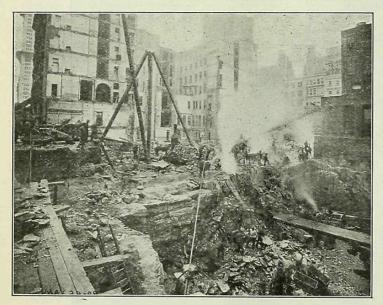


FIG. 2. VIEW OF THE SITE ON JUNE 1. Part of the hotel building is still standing.

in this room is made of the same wood. Above the bookcase the plaster wall is covered with a rich gold colored stuff, and the ornamental cornice of the room is executed in plaster, left white.

The drawing room is the only room which has any elaborate ornamentation. In this room the walls are covered with cerise brocade set in panels, and the mouldings of the panel strips are gilded, as is also the relief ornament on the door and window trim and in the cornice. cornice.

te second floor is 15 ft. high in the clear. On the floors rooms are simply treated with small, simple cornices an ascot. The walls throughout the upper rooms are papered.

IMMIGRATION .- One effect of the depressed labor market has been a great check upon the influx of foreign laborers, who for a decade have been attracted hither in ever increasing numbers by a rising labor market. The total number of aliens admitted at the Port of New York in the first quarter of 1908 was but 57,007, as compared with 198,379 in the corresponding quarter of the year before. But not only has immigration thus greatly decreased. In quite as striking fashion alien labor already in the country has withdrawn from this market by emigration, thereby reducing the amount of unemployment in this country.

The use of small reeds as a substitute for plastering laths is common in Germany, and in other parts of Europe. The reeds used in this industry are chiefly imported from Hungary by Danube boats, and vary in length from one to two and one-half yards, or even more, and from three-eighths inch to one and one-half inches in diameter. The supply in Hungary is said to be abundant, but to be decreasing through drainage of swamps. By means of machinery these reeds are fastened together by wires so as to form a continuous mat as wide as the reeds are long, and which is cut with shears and fastened to walls or ceilings in place of laths.

EXAMPLE OF RAPID CONSTRUCTION.

HOW DIFFICULTIES ARE OVERCOME IN MANHATTAN WHERE TIME SPELLS MONEY.

T is a pretty safe assertion to say that rapidity of construction means more in New York than in any other city on this continent, if not in the whole world. At the present time the erection of a business structure in Manhattan generally involves the demolition of another to make room for it, vacant lots being so scarce. When the site is in a section where its assessed value runs up in the millions the loss of rent entailed by wrecking and building operations is one of the dominating



FIG. 1. THE FIFTH AVENUE HOTEL. As the Broadway front appeared on May 1, 1908.

features to be considered. This may be the result of strikes, legal complications, bad weather and a dozen handicaps, but with everything favorable to owner and builder it is not only desirable, but economical to advance the work as fast as possible without endangering the stability or beauty of the structure. Add to this the loss of rent, the taxes, interest, etc., and the necessity of rapid construction is even more apparent. It is true that these losses are figured in the total cost of the undertaking in a measure, but they have to be kept down as much as possible in order to minimize the total cost of the improvement.

The erection of a modern 14-sty office building on the corner of Broadway and 23d st, in the heart of the new office section, illustrates what has been noted. To put up such a structure in Manhattan in one year, the time allowed for this undertaking, may not be establishing a record, but the difficulties faced by the general contractors, the Hedden Construction Co., make the execution of the contract one of unusual interest.

The accompanying illustrations indicate both the progress and some of the obstacles, also revealing what it means to excavate for foundations in some parts of Manhattan. Figure 1 shows the appearance of the old Fifth Avenue Hotel on the corner May 1, when the Rheinfrank House Wrecking Co. started to tear down the hostelry for the general contractors.

Figure 2 is the reproduction of a photograph taken one month later, showing part of the hotel standing on the Broadway side, the steam drills at work, and the huge boulders of rock dyna-

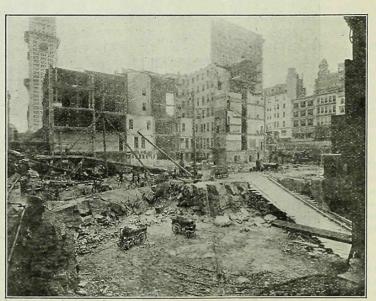


FIG. 3. OPERATIONS ON JULY 1. The 30ft. excavation is in the foreground.

mited for the basement and sub-basement. Practically the entire site is of solid rock. Scores of laborers break up the huge pieces of stone after the dynamite rends them apart. a scene has been referred to as a "mining camp" in New York.

Fig. 3 is a reproduction of a photograph of the operations a month later, about July 1. Wreckers are at work almost side by side with drillers, An injunction placed by tenants of the

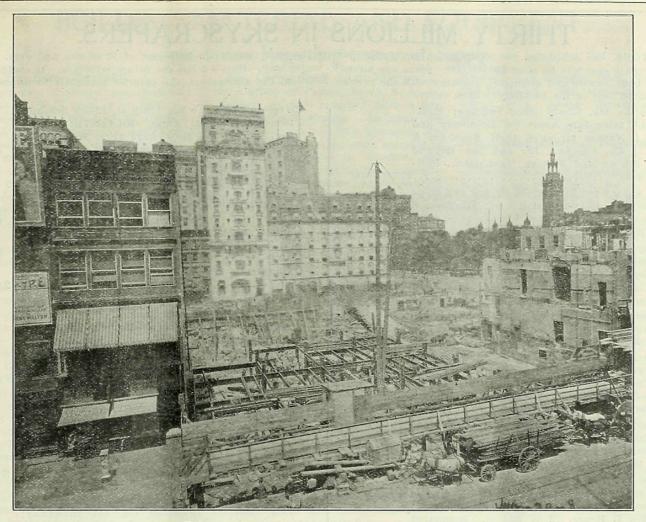


FIG. 4. VIEW OF OPERATIONS ON JULY 23.

The last corner of the hotel building is disappearing, on the right hand side, and the steel frame-work of the new building is appearing on the left. Steam drillers are at work on the 24th St. side.

stores on the Broadway front delayed demolition, and consequently construction, within 100 ft. of Broadway, from May 18 until the third week of June.

Fig. 4 reproduces a photograph taken about three weeks later and illustrates a remarkable condition in a building undertaking. On the Broadway side can be seen the last corner of the old hotel as it is disappearing under the crowbars and sledge hammers of the wreckers. Steam drills are busy boring holes in the rock on the 24th st side, while on the western end of the 23d st side the steel work is up to the first floor. Thus, at the same time there are represented on one site five different trades, namely, wreckers, excavators, concrete workers, masons and iron workers, with the fireproofing about to be applied.

The Fifth Avenue Building, which is the name that has been given to the new structure, is to be ready for occupancy May 1, 1909, one year from the time the general contractors started. It was designed by Architects Maynicke & Franke.

PRODIGIES AMONG CONTRACTORS.

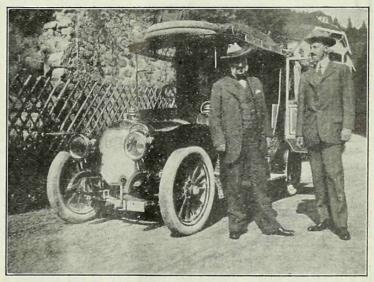
Can a contractor who is ignorant of the use of the ordinary instruments required in his line of business be successful therein? The question appears to be too absurd to call for the answer that 99 persons out of 100 would give, and yet there are instances of men who, unable to write even their own names, let alone handle a tape line, have acquired a competency and have otherwise been progressive.

One case was cited by an engineer recently, where a contractor having six figures in his private bank account, had made it all in excavation work, despite that he knows no more about the use of a measuring stick than he does about the inhabitants of Mars. He can look over a vacant lot a short time and then estimate within a few dollars what it will cost to dig the hole needed for the foundation. He has grown up with the business and his ability to figure seems to be almost an instinct.

"When I was stationed in Baltimore after the conflagration in that city a few years ago," said Mr. F. C. Fowler, of the New York office of the General Fireproofing Co. (Mr. Fowler represented Oliver & Burr in the Monumental City at that time), "I ran across a prodigy among contractors. He was in the railroad line and his ability to estimate without resorting to instruments of any kind was amazing. He never did use them. When improvements were to be made he rode in a handcar over the section and could figure mentally within a small fraction of one per cent. what they would cost. I accompanied him on one of these trips and was astonished at his methods, which appeared hazardous, but which rarely failed him. The fact that he is regarded as one of the well-to-do contractors in his own community is indicative of his success, and he was a poor man once. When he signs a check, it is by putting a cross opposite his name. He is both ignorant and clever—ignorant of

book lore in mathematics and engineering, but clever in his ability to produce results. He makes good and his methods are not questioned. You might as well talk to him about the viscidity of protoplasm as of square or cube roots."

MOTORING IN EUROPE.—Mr. A. R. Whitney, who was senior member of the iron and steel firm of A. R. Whitney & Co., Eastern agents for the Carnegie Steel Co. for two decades, returned recently from an automobile trip through Continental Europe. Mr. Whitney, who took this novel method to benefit his health, was accompanied by his son, Mr. Arthur R. Whitney, Jr., president of the Whitney-Steen Co., of New York, engineers, contractors and builders. They motored about 2,000 miles through some of the most attractive and historic parts of Europe. Arriving at Paris, a 60-H.P. Pilain car was secured for the journey, which started at the French capital. The itinerary was to Aix-les-Bains, to Chamouni, to Geneva, to Interlaken, to Lucerne, through the Black Forest, to Heidelberg, to Frankfort, down the Rhine to Coblentz, along the Moselle River, westward to Luxembourg, and thence to Dieppe, in time to see the Grand Prix motor race at that place. After witnessing these, the Whitneys returned to Paris. The whole trip was delightful and without a single accident to mar it. Both of the tourists gained in flesh and enjoyed fine weather. The voyage back to New York was made on the Mauretania, after being away from this city about two months.



THE MESSRS. WHITNEY IN THE BLACK FOREST.

THIRTY MILLIONS IN SKYSCRAPERS.

NEW YORK has scheduled for construction since the first of the year twenty-six buildings of 12 stories and over. Their aggregate cost will be near \$20,000,000. Some are already, under the stories and over. aggregate cost will be near \$30,000,000. Some are already under way. Here's a list for future reference. It contains the names of both owners and architects, together with the precise location, the dimensions, the exterior materials to be used and

	the estimated cost of the building in each case:			
1	Broadway the blk, 62-sty office building; Equi-	-	Riverside Drive, s e cor 113th st, 12-sty brk and	
	Nassaust table Life Assur Co, Broadway and		stone apartment house, 104.4x107.6; Akron	
ı	Cedar st Nassau st; ar'ts, D H Burnham &		Building Co, 198 Broadway; ar'ts, Schwartz &	000 000
١	Pine st Co, Chicago, Ill. and the Holland		Gross, 347 5th av. Estimated cost	300,000
١	House, 5th av and 30th st, Manhattan. Esti-		26th st, Nos 38-44 West, 12-sty and basement	
١	mated cost\$	10,000,000	brk and stone loft building, 60x90, tar and	
١	Madison av, n e cor 34th st, 16-sty brk and stone	-	gravel roof; E E and Terry Hinkle, 534 W 56th	
١	loft building, 49.1x99.9, slag roof; Margaret S	THE REAL PROPERTY.	st; ar'ts, Hinkle Iron Co, 534 W 56th st. Esti-	
١	E Cameron, Clifton, Staten Island; ar'ts, Clin-		mated cost	200,000
١	ton & Russell, 32 Nassau st. Estimated cost	300,000	Madison av w s, the blk, 14-sty brk and stone	
١	Broadway, s w cor 4th st, 16-sty brk and stone	All the same and	46th st hotel, 200x140, tile roof; Robert	
١	loft building, 80.5x110; concrete roof; Philip	THE PARTY OF	47th st Walter Goelet, Newport, R I; ar'ts,	
1	Braender, 143 W 125th st; ar't, Wm C Frohne,		Warren & Wetmore, 3 E 33d st. Estimated	
ı	38 E 21st st. Estimated cost	1,000,000	cost	2,000,000
١	27th st, No 18 W, 12-sty brk and stone loft and	1 14 1 4 14	Wall st, No 48, 20-sty brk and stone office build-	
١	office building, 25x91, slag roof; James Living-		ing, 38x126, tile roof; Bank of New York, 48	
١	ston Construction Co, 32 Nassau st; ar'ts, Ne-		Wall st; ar'ts Clinton & Russell, 32 Nassau	200
١	ville & Bagge, 217 W 125th st. Estimated cost	120,000	st. Estimated cost	600,000
1	Beaver st, Nos 26 and 28, 18-sty brk and stone		Wall st, Nos 67-69 24-sty brk and stone office	
1	office building, 53.5x50.1 and 56.2, tar and	SE RECEI	Beaver st, Nos 85-91 building; United States	5, 5 5
1	gravel roof; Stock Quotation Telegraph Co. on		Realty & Impt Co, 111 Broadway; ar'ts, Gold-	
1	premises; ar't, Morgan M O'Brien, 100 E 76th		win Starrett & Van Vleck, 150 5th av. Esti-	==0.000
١	st. Estimated cost	250,000	mated cost	750,000
١	Broadway, s e cor 8th st, 16-sty brk and stone		Broadway, Nos 44-50 38-sty brk and stone office	
١	office building, 50.3x122.9; Sinclair Realty Co,		New st, Nos 43-47 building, 81x175; copper	
ı	31 Nassau st; ar't, W H Gompert, 2102 Broad-		and tile roof; Broadway & New Street Realty	
١	way. Estimated cost	400,000	Co, 50 Broadway; ar't, W C Hazlett, 1133	0.475.000
١	Riverside Drive, s e cor 98th st, 12-sty brk and		Broadway. Estimated cost	3,475,000
Í	stone apartment house, 101.4x81x98.6, plastic		4th av, n w cor 17th st, 16-sty office and mer-	
1	slate roof; Century Holding Co, 141 Broadway;		cantile building, 127.7x142, composition and tile roof; Everett Investing Co, 111 Broadway;	
ı	ar't, Wm L Rouse, 12 W 32d st. Estimated		ar'ts, Goldwin Starrett & Van Vleck, 150 5th	
ı	cost	500,000	av. Estimated cost	650,000
١	Chambers st, Nos. 43 to 51, 14-sty brk and stone		12th st, No 8 E, 12-sty brk and stone mercantile	000,000
ı	bank and office building, 123.2x151.6, tile, tar		building, 25x93.3; Master Builder Realty &	
ı	and felt roof; Emigrant Industrial Savings	A AND PROME	Construction Co, 1 Madison av; ar't, Samuel Sass,	
١	Bank, 51 Chambers st; ar't, Raymond F Almi-		23 Park Row. Estimated cost	100,000
١	rall, 51 Chambers st. Estimated cost	1,500,000	16th st, Nos 15-17 East, 12-sty brk and stone loft	
1	26th st, Nos 37 to 43 West, 12-sty brk and stone	A PERSIBIANT	building, 50x82, slag roof; Max Kurzrock and	
1	store and loft building, 100x90.4, slag roof; The		Hyman Hein, 55 W 16th st; ar'ts, Schwartz &	
1	West Twenty-Sixth St Corporation, 725 Broad-	The second	Gross, 347 5th av. Estimated cost	240,000
1	way; ar'ts, Neville & Bagge, 217 W 125th st.		17th st, No 22 East, 16-sty loft building; Clar-	
1	Estimated cost	400,000	ence Wadsworth, Hartford Bldg, Union sq, N	
1	38th st, Nos 15-17 West, 12-sty brk and stone loft	million of the	Y; ar'ts, Hoppin & Koen, 244 5th av. Esti-	400.000
1	building, 56.3x90.2, tile roof; Mary L Barbey,	1.16377/61.01-2	mated cost	100,000
1	4 E 39th st; ar'ts, Delano & Aldrich, 4 E 39th		Broadway, 23d and 24th sts, 14-sty office and	
1	st. Estimated cost	150,000	store building; Fifth Avenue Building Co, 225	
1	Beaver st, Nos 63-65, 15-sty brk and stone office	AT THE PARTY	5th av; ar'ts, Maynicke & Franke, 298 5th av;	9,000,000
1	building, 44.8x103.2, tile roof; Farmers Loan &		Hedden Const Co, builder. Estimated cost	2,000,000
1	Trust Co, 16-22 William st; ar'ts, Clinton &	500,000	Broadway 12-sty elevator apartment Amsterdam av house; Belnord Realty Co;	
1	Russell, 32 Nassau st. Estimated cost	500,000	Amsterdam av house; Belnord Realty Co; 86th and 87th sts ar'ts, Hiss & Weeks, 1123	
1	11th st, No. 55 East, 12-sty brk and stone loft	will be desired	Broadway; Geo A Fuller Co, b'r. Estimated	
1	building, 27x93.3, slag roof; Brevoort Const Co, 229 Broadway; ar'ts, Schwartz & Gross,		cost	3,500,000
1	229 Broadway; arts, Schwartz & Gross, 347 5th av. Estimated cost	130,000	26th st, No 22 West, 12-sty store and office	5,555,555
1	36th st, Nos 149-51 West, 12-sty brk and stone	100,000	building; Chas Kaye, 12 W 21st st; ar'ts,	
1	store and loft building, 39x93, slag roof; Robert		Buchman & Fox, 11 E 59th st. Estimated cost	200,000
1	S Finney, 103 Park av; ar'ts, Mulliken & Moel-		_	
1	ler, 103 Park av. Estimated cost	200,000	Total\$	29,565,000
	, , , , , , , , , , , , , , , , , , , ,			

MEDIATION AND ARBITRATION.

DURING the three months from March 1 to June 1 representatives of the Bureau of Mediation and Arbitration of the State Department of Labor intervened in twenty-one dis-In two cases intervention occurred before suspension putes. of work, once upon the request of the employer and once at the request of employees. In both of these cases no strikes occurred, a final settlement resulting from the Bureau's efforts in one case, while negotiations were still pending in the other on June 1. The remaining nineteen cases were strikes or lockouts in which the Bureau intervened of its own motion after stoppage of work. In six of these the intervention was immediately successful in terminating the controversies. There were no arbitration cases during the three months. Following are synopses of interventions in the New York City Building Trades, according to the last quarterly bulletin:

One hundred and fifty cement workers, waterproofers, electrical workers, tile-layers, carpenters and others employed by one contractor struck March 31 to compel the employment of union electricians. Bureau intervened April 1; conference between union representatives and contractors was arranged, which resulted in the signing of an agreement. Strikers returned to work April 3.

Cement masons, cement laborers and metal lathers employed on the Williamsburg bridge requested the intervention of the Bureau in a threatened strike. Bureau intervened May 12 and arranged a conference of the engineer in charge and representatives of the

unions. Negotiations are still pending but without stoppage of

unions. Negotiations are still pending but without stoppage of work.

Fifty-two plasterers employed on the Williamsburg bridge threatened to strike on account of jurisdictional dispute with Tilelayers' Union. Engineer in charge appealed to Bureau. On May 12 Bureau intervened and succeeded in having strike held in abeyance until unions could adjust their differences.

Twenty-eight carpenters and 12 metal lathers employed by one contractor struck April 30 for increase of wages from 40 to 50 cents per hour for carpenters. Bureau intervened May 1; employees agreed to conference but employer refused. On May 2 employees filed complaint with Department of Labor and city comptroller that contractor was not paying prevailing rate of wages on the contract, which was public work. On May 5 representatives of the disputants met and the demands of the workman were conceded.

Ten carpenters in one shop struck May 5 against use of nonunion wood trim. Bureau intervened May 12 and arranged a conference of the parties, as result of which contractor signed agreement on same day to use union trim.

Fifteen housesmiths and bridgemen employed by one contractor struck March 31 against the employment of non-union men. Bureau intervened April 1; conference arranged between representatives of the union and the contractor, as result of which agreement was signed to employ only union men. Dispute terminated April 2.

Three hundred and fifty sheet metal workers, plumbers, carpenters,

agreement was signed to employ only union men. Dispute terminated April 2.

Three hundred and fifty sheet metal workers, plumbers, carpenters, plasterers, laborers, lathers and others employed in 16 establishments struck May 7 to compel a contractor to unionize his shop. Bureau intervened May 8; employees agreed to return to work if employers would unionize shops and conform to rules of Carpenters' Union of Greater New York. Employers refused. Strike failed, strikers returning to work May 14.

BUILDING MATERIAL AND EQUIPMENT.

And News Regarding Source of Supply

The Rose Clambake.

More than four thousand men attended the fifth annual Pow Wow of the John B. Rose Company of New York at Orange Lake Park, N. Y., on Saturday, Aug. 15th. Four thousand badges were given out, and that number was not enough to go round. It was a most remarkable outing. Of course they have had in the past monster picnics up that way. The Quakers of Southern Ulster, the farmers of the Wallkill Valley, the old-time camp meetings and the temperance people have drawn together their thousands, but this was different. As a clambake it was the limit.

Men came from all along the Hudson. A special train on the West Shore brought friends from New York and intermediate towns. As may be supposed, the invitations were pretty generally distributed among the club, society and business friends of Capt. Rose. Orange Lake Park is some miles west of Newburgh and is reached by electric cars. It has a permanent theatre, set in a grove, pavilions of various kinds and boating and swimming facilities.

Captain Rose, who gives these handsome entertainments, employs several hundred men in the brick business at Roseton. He is commander of the Fifth Separate Company, and belongs to a long list of organizations. We believe it is true that he aspires to the Republican nomination for State Senator from Orange and Sullivan counties, and it is very evident that he wants everybody he knows to have a good time. He showed his interest in the welfare of his employees when he erected a large clubhouse and lecture hall at his works.

A great deal could be said about the clambake. A committee of a hundred citizens came forward and helped with the arrangements in the neighborly way that still survives in some parts of the The entertainment was varied country. and generous. Bakes were opened at three different hours of the day, and the guests were served at tables in the shady grove. The track and field sports in the morning, the theatrical performance and a ball game in the afternoon and the water sports in the early evening filled a pleasant day. Taken with the journey by train, boat and trolley into a fine farming country and a unique and generous dinner with theatricals and sports on the side, can you imagine anything finer?

Among the men of note (there is room only for a short list) were: Fire Commissioner Whitney, Deputy Police Commissioner Hanson, Hon. B. B. Odell, Hon. Timothy Woodruff, Hon. Herbert Parsons, Hon. William L. Ward of Westchester, Hon. William Barnes of Albany, Senator Allds, Senator Owen Cassidy, Congressman Bradley, Congressman Burnett, Dock Commissioner Allen Spooner, Comptroller Glynn of Albany, and the Mayors of several cities—Albany, Hud-son, Kingston and Newburgh. Among the firms of architects, builders and dealers represented were: Eidlitz & McKenzie, Horgan & Slattery, McKim, Meade & White, Ahearn Construction Co., J. Carlin, John Downey, Hedden Construction Co., J. C. Vreeland Building Co., Chas. T. Wills, H. A. MacLean of the Tide-Water Building Co., John Bell Co., Candee, Smith & Howland Co., R. Darrow's Sons Co., John P. Kane Co., John A. McCarthy, R. H. Matthews Co., Murtha & Schmohl Co., N. & W. J. Peck, John Philbrick & Bro., N. Wise Co. and Theo. C. Wood.

Mr. Carter Back from Europe.

Mr. Carter, of Carter, Black & Ayers, 1 Madison ay, has returned from a trip to England and France. Although his outing in Europe was for pleasure, Mr. Carter found time to see some samples of brickwork, especially in London and Paris. He pays tribute to the thoroughness of the English mason, who lays brick much better than his American conferer:

"They take more time in England," said Mr. Carter, "and the brickwork is much better than in the United States. But the colors in brick are principally two, red and a greenish yellow. The American face brick is better and the variety of colors here is not to be found in England. Time is too precious with us to permit of the excellent results produced by the mechanic in Great Britain.

"More variation in color and more artistic work are noticed in the French facades. In Paris decoration is more in evidence in the buildings than othe rcities. In the business section of London the use of soft coal plays havoc with the brick fronts, the soot making them so dark that after a few years one cannot distinguish between a stone and a brick facade. In one case a light brick was being used on a new building which adjoined another structure that was quite dark. I was informed that the latter building had the same face brick as the one in course of erection, but that the effect of the use of soft coal had destroyed the original color."

Mr. Carter, who takes much interest in athletics, crossed the ocean in the same liner that carried the American Olympic team. He is personally acquainted with many of the athletes who represented the United States in the field events at London and saw this part of the Olympiad throughout. He has nothing but praise for the gentlemanly bearing of the American boys despite some of the unpleasant features attending the Olympiad.

Drain of Reinforced Concrete.

The draining of the acres of railroad yards at the new terminal of the New York Central lines in Manhattan was one of the problems for the consideration of the engineers in charge of the improvements in progress there and concrete was used in overcoming the difficulty. The total surface to be drained is nearly 78 acres, comprising 24 acres in the yard for the suburban trains 40 feet below the street level and 42 acres in the yard for the express trains, 20 feet above the suburban.

The construction of the drain is of reinforced concrete, with a minimum thickness of 12 inches. The invert is lined with red brick. As the drain crosses the yards it has an elliptical shape, changing to a circular shape at 46th st, where it is 6 ft. in diameter.

Steam Pipe for Porto Rico.

Miles of the steam piping taken from the old Fifth Avenue Hotel by the Rheinfrank House Wrecking Co., 620 East 14th st, is to be sent to Porto Rico to be used for irrigation and other purposes. This is but another instance of the way in which this historic structure is being scattered to the four points of the compass. Recently an order was received for a set of the pavement lights to be used at Albany. More than half the States in the Union are represented in inquiries and orders for some article from the hotel. Within the past month shipments have been made to Connecticut, Massachusetts,

Rhode Island, Georgia, Ohio, New Jersey and Kentucky. The most active demand comes from places throughout Long Island

Stones More Irish than Those in Blarney Castle.

The possibility of simulating stone with concrete is responsible for a witticism passed at the expense of the historic Blarney Castle and that part of it so frequently associated with osculation and flattery. A visitor to the workshop of Mr. H. W. Miller, 501 East 22d st, will find on the wall of the third story a group of stones that reproduce a small section of the old castle. They are made of concrete, the details seen in the natural stone showing up to the perfection of simulation.

When the Trinity Building was in course of construction the architect called at Mr. Miller's office to approve some models for that structure. When he saw what he supposed was a specimen of the rustic wall in Ireland, he inquired whence the stones came, never doubting but that they were the genuine article. He remarked that they looked to be about 1,000 years old.

Mr. Geo. Beck, who had modelled the group from photographs of sections of Blarney Castle, answered that the stones were concrete, but that they were more natural than the ones in the walls of Blarney Castle, because everyone was a sham-rock.

Concrete Made Prosperity.

The Allentown, Pa., Chamber of Commerce has issued a book showing the growth and industrial importance of the town, in which it is stated that within a radius of six miles there are eighteen cement mills, employing 12,000 men, whose output for 1906 was 13,000,000 barrels of Portland cement, about 36 per cent. of the total product of the United States.

The rank of the Portland cement producing States has shown little change in the last two years. Pennsylvania is still the leading State by a large margin, New Jersey is second, Indiana third, Michigan fourth and Kansas fifth. None of the remaining States produced as much as 3,000,000 barrels during the year, and the five States named contribute almost three-fourths of the total production—Cement Age.

New York After Dark.

An excellent photogravure to show the part that the Otis elevator is taking in the constantly changing skyline of New York appears in the June number of the "New York Architect." It shows Manhattan as seen from the Statue of Liberty after the skyscrapers are lighted up and the elevators flitting past open windows like will-'o-the-wisps. The lines explanatory of the illustration are as follows: "New York at night, towering above the harbor, imposing and mysteriously suggestive of its greatness. It is most interesting to trace the progress, in the tall buildings, of the Otis elevator, as the brilliantly lighted cars flash by the open windows."

—The American Manganese Bronze Co., 99 John st, Manhattan, U. T. Hungerford, president, and W. A. Locke, secretary and treasurer, have completed their new works at Holmesburg Junction, Philadelphia, on the New York division of the Pennsylvania R. R.

PRICES CURRENT.

BRICK.-Without noticeable change the market for Hudson River brick retains the amount of activity it has been accustomed to this season. Receipts of material are only sufficient to meet the requirements and leave the usual sur-Quotations in the open market plus. continue nominal. A part of the shipments are under long term contracts at rates which this season average higher than the market.

The Harbison-Walker Refractories have taken the contract to supply the face brick for the State Educational Building at Albany, N. Y. More than a million will be required. A light colored and impervious brick has been selected. Palmer & Hornbostel, New York, are the architects and R. T. Ford & Co., of Rochester, are the contractors.

Cargo Lot.

BRICK.		M.
Hudson River Common	\$4.50@	\$5.25
Hudson River Light Hard	3.00	
Hudson River Pale		
New Jersey, Hard	10.70	
Croton Point-Brown, f. o. b	12.50	
Croton Point-Dark and red	12.50	
Fronts:		
Buffs, No. 1 (delivered at bldgs.).	21.00	26.00
Greys, various shades & speckled	25.00	31.00
White, No. 1	27.00	30.00
White, No. 2	20.00	25.00
Old Gold	28.00	30.00
Enameled:		
English size	70.00	75.00
American size	60.00	65.00
Seconds, etc.	40.00	45.00
The state of the s		

CEMENT.-Business in the middle of August seems to be a little quieter than in the corresponding week in July, which is true in most years, and the present season has not generated any reason for being an exception. The substance of the reports from manufacturers and dealers is that the improvement in trade over the previous month is slight, but a few firms could be noted as exceptions to the general rule. Orders are mostly in small amounts for current local work. Manufacturers are looking ahead to a period when the railroads will be purchasing in large quantities.

Reports from the middle West are to the effect that the cement trade is coming into its own again, though prices have not changed. An interesting rumor relates to a manufacturing company in the Lehigh region, which is said to be obtaining options on cement lands near Mason City, Iowa, with the intention of putting up a large mill there. Work is about to be resumed at the Millen Portland cement works at Chelsea, Mich., after a rest of three years. H. C. Millen is president of the corporation. A majority of the stockholders of the Minona Portland Cement Company, of Sumpter County, Alabama, have filed a bill in chancery at Selma, asking for a dissolution of the corporation and the refunding to the preferred stockholders of the amounts paid on subscriptions to stock. The company was organized about two years ago, but it has not reached the manufacturing stage.

CEMENT.

Manufacturers' Quotations:

The following special quotations, for cargo lots in cloth, are furnished by agents of the brands, and they, not we, are responsible for the accuracy of the figures given:

Atlas Portland	\$1.48@	\$1.55
Alsen (American) Portland		
Vulcanite	1.48	1.53
Trowel Portland	1.48	
Nazareth		
Dragon Portland		
Atlantic		
Dyckerhoff (German) Portland		
Alsen (German) Portland	2.35	

IRON, STEEL, ETC.—Demand continues to expand gradually in the iron and steel industry, but there is no rapid improvement, and on some descriptions of pig iron it has been possible to obtain further concessions in prices. Despite the unusually small orders for railway equipment, production of steel mills is increasing at the rate of about 5 per cent. weekly, and if progress is not interrupted there should be fully 70 per cent. of the total capacity in operation next month. Attractive quotations are being named in all sections of the market.

A good volume of small structural contracts is coming from the West. The state of business in this trade, taking the country over, is decidedly better than a The railroads are placing month ago. orders for bridge material much more The Geo. A. Fuller Company has freely. placed the contract for structural steel for the building to be constructed on the site of the Everett House, New York City, requiring 2,700 tons. It is understood that no steel contract will be placed for the Hoyt apartment house at present, the business being temporarily withdrawn because of financial affairs. The steel for the Emigrant Bank building on Chambers st will not be placed until next month.

The John Peirce Company, which is back of the Ford Construction Co., of Rochester, the general contractor for the Educational Building at Albany, states that the contract for the 10,000 tons of steel required has not yet been awarded. Other contracts pending include 800 tons for the Union Theological Seminary, 1,-200 tons for a building at 34th st and Madison av, and 800 tons for the Allenel apartment house. The contract for the 2,700 tons of steel for the Century Realty Company's building on Union square has gone to the Hay Foundry and Iron Works.

Reports from copper manufacturers indicate that they are marking time. The brass interests, together with the electrical equipment concerns, are under moderate headway. Prices on the New York Metal Exchange were unchanged at 131/2@135/sc for lake, 13%@13½c electrolytic, and 131/8@131/4c for casting The market was called dull.

The bar iron trade reports a steady increase in the volume of business, but prices continue a little irregular. vanized plates are in good request. Gal-The lead market continues moderately active.

PIG IRON.

The following are the nominal delivered prices in this district for shipment during the next few months. Southern prices delivered, New York, Brooklyn or Jersey City, include lighterage:

Northern:		
No. 1 x Jersey City	\$16.75@\$	17.25
No. 2 Foundry x Jersey City	16.25	16.75
No. 2 Plain	15.75	16.25
Southern:		
No. 1 Foundry, steamship dock	17.00	17.50
No. 2 Foundry, spot (nominal)		17.00
No. 3 Foundry	15.75	16.25
STRUCTURAL.		
Diffeorement	From	store.
Beams and Channels, 15-in. and		
under	\$1.76@	\$2.25
Angles	1.76	2.25
Tees	1.81	2.35
Zees	1.81	
BAR IRON FROM STORE (Nation	al Class	sifica-
tion).		
ROUND AND SQUARE IRON.	@	21 00
1 to 17%, base price	1-10c.	
¼ to ½ in	1-100.	
1 to 1%, base price (nominal)		фт. 19

FLAT IRON.		
11/2 to 4 in. x 5/8 to 1 in., base price		1.90
1½ to 4 x ¼ x 5-16		extra
2 to 4 in. x 1% to 2 in		extra
4¼ to 6 in. x 11-16 to 1½ in		extra
Norway Bars		8.75
Norway Shapes		4.00
Machinery Steel, Iron finish, base		
Soft Steel Bars, base or ordy sizes		1.90
Tool Steel, regular quality	7.00	2.00
Tool Steel, extra quality	13.00	
Tool Steel, extra quality	10.00	
SOFT STEEL SHEETS.		
¼ and heavier		2.55
3-16		2.65
No. 8		2.65
Blue Annealed:		
No. 8	2.50	
No. 10	2.50	
No. 12	2.55	
No. 14	2.60	
No. 16	2.70	
110. 10.11.11.11.11.11.11.11.11.11.11.11.11.1	10 mm/m (- 10 mm)	

			-One Pass R	G. cleaned-
No.	10	A. 12.77 . 17.11	Cold Rolled.	American.
				\$3.30
No.	18	1	2.95	3.40
No.	20	ſ		
No.	22	1	3.00	3.35
No.	24	S		
No.			3.05	3.40
No.	27		3.10	3.45
No.	28			3.50

 SOLDERS.
 Case. Open.

 Half and Half
 19½ @ 20

 No. 1
 17½ 18

LUMBER.-Locally the lumber market shows a tendency to improve, but the amount of trade is by no means what it should be. The extent of the business being transacted in lumber can be judged very well by any one in a position to estimate the amount of building on hand. But there is this to be said, that at local yards stocks in many cases have reached a point where they need re-For this reason, and because plenishing. of the quicker revival of business in the cities and towns served from New York, there is better business in the wholesale trade than a month ago. Some increases in building permits are a little more encouraging, but builders are still working cautiously. There is a fair movement in the suburban sections, while it is expected that the dock department will shortly be in the market for heavy supplies of yellow pine for the construction of the new docks in the South Brooklyn water-front. Yellow pine has been in better demand during the week and prices are stiffer. The Lumber Trade Journal remarks:

'Opinion in the trade is divided as to the prospects. Some do not look for any material change until next spring, others believing that the election decision will start the ball a-rolling; but whichever is correct there is one factor which stands out clearly, and that is that during the slump and dull period following the panic the general tendency in all lines of business has been to reduce stock and purchases to the minimum. This is especially true in the lumber trade, and in view of that fact it is obvious that it will require but a comparatively small change for the better to bring about a market stimulation which will be sympathetically felt in prices. Conversation with a good percentage of the trade shows a great decrease in the volume of business as compared with a year ago, but on the other hand many dealers are enjoying enough trade to keep things moving along. This about reflects the situation in a nutshell. This is is a good time to buy lumber, as lumber is cheap, and further than that there is extremely little likelihood, unless everything goes teetotally to the bad, for prices to go any There is keen competition for such business as is offering, which is of advantage to the buyer, and those in a position to anticipate their wants at this time should certainly be in line to make good profits when general conditions resume a normal basis.

2	PR	U	CE.							
									\$16.50@	
									18.00	
10	to	12	inch	car	goes	 	 	 	. 20.00	21.00

HEMLOCK.—Pa. Hemlock, f. o. b. New York, base price, \$19@\$20 per M.

PINE,	YELLO	W-Lo	ng	Leaf.
		Ву	S	ail.
Building	orders.	12-in.	8	unde

By Sail.	
Building orders, 12-in. & under\$23.00@	\$24.00
Building orders, 14-in. and up 27.00	28.00
Yard orders, ordinary assort 21.00	
Ship stock, easy schedules 27.00	28.00
Ship stock, 40 ft. average 37.00	38.00
Heart face siding, 1 and 14-in 29.00	
1 in. wide boards, heart face 36.00	
11/4 and 11/4 in. wide boards 40.00	
2 in. wide plank, heart face 40.00	
Kiln dried sap siding, 4-4 24.00	25.00
Kiln dried sap siding, 5-4 25.00	26.00
Yellow Pine Box Boards (knotty) 14.00	15.00
Yellow Pine Stepping 41.00	43.00
By Steam, add \$1.00 to \$1.50.	10.00

LONG LEAF YELLOW PINE FLOORING.

"A" Heart face rift, D. & M., 13-16		
x 2½ counted 1 x 3	\$52 000	955 00
"B" Heart rift, D. & M., 13-16	φο2.00Q	,φυυ.ου
v 214 counted 1 v 3	46.00	47.00
x 2½, counted 1 x 3	10.00	41.00
x 2½, counted 1 x 3	31.00	
"A" Dift D & M 12 16 counted	91.00	
"A" Rift, D. & M., 13-16, counted	42.00	43.00
1 x 3	42.00	43.00
"B" Rift, D. & M., 13-16, counted	27 50	07 7-
1 x 3	37.50	37.75
C' Rift, D. & M., 13-16, counted	00.00	00.00
1 x 3	26.00	29.00
"A" Flat, D. & M., 13-16, counted		
1 x 3	27.25	30.00
"B" Flat, D. & M., 13-16, counted		-
1 x 3	25.50	24.75
1 x 3 No. 1 Com., D. & M., 13-16,	- Date describe	CHARLES IN
counted 1 x 3	19.25	20.50
counted 1 x 3		
counted 1 x 3	13.75	15.00
"A" Heart Rift, 13-16 x 31/4,		
"A" Heart Rift, 13-16 × 3¼, counted 1 x 4. "B" Heart Rift, 13-16 × 3¼,	44.50	48.50
"B" Heart Rift, 13-16 x 31/4,		
counted 1 X 4	39.50	42.00
"C" Heart Rift, 13-16 × 31/4,		
counted 1 x 4		
"A" Rift, 13-16 x 34, counted 1x4.	36.25	40.50
"B" Rift, 13-16 x 34, counted 1x4.	32.25	34.00
"C" Rift, 13-16 x 34, counted 1x4.	25.25	29.00
"A" Flat, 13-16 × 31/4, counted 1x4.	25.25	28.50
"B" Flat, 13-16 x 31/4, counted 1x4.	24.25	25.50
No. 1 Com., 13-16 × 3¼, counted		
1 v 4	19 75	20.50
No. 2 Com., 13-16 × 3¼, counted	20.10	20.00
1 x 4	14 00	16.00
1 A 2	11.00	10.00

WHITE PINE.

(Rough or dressed.)

Good Uppers, 4-4, 5-4 and 6-4 per	
1,000 feet\$90.00@\$	\$98.00
Shelving, No. 1, 1×10 in	50.50
Shelving, No. 2, 1 x 10 in 37.00	39.50
Cutting up, 5-4, 6-4, 8-4, 1st 58.50	63.50
Cutting up, 5-4, 6-4, 8-4, 2ds 46.50	52.50
No. 2 Dressing Boards, 1 x 12 in., 44.00	
No. 1 barn boards, 8-in 36.00	37.50
10-in 36.00	36.00
12-in 46.00	47.50
No. 2 barn boards, 8-in 34.00	35.00
10-in 36.00	37.00
12-in 38.00	39.00
No. 3 barn boards, 8-in	32.00
10-in 32.00	34.00
12-in 34.00	35.00

HARDWOOD FLOORING.

K. D. Bored, End Matched or Butted and Bundled.

13-16 Oak, 2, 2¼ and 2½.	
Clear quartered white oak	\$86.00
Select quarter-sawed white oak	
Clear quartered red oak	
Select quarter-sawed red oak	45.00
Clear Plain sawed white oak	
Select P. S. white oak	
Clear plain sawed red oak	
Select P. S. red oak	
Common oak, red and white	35.00
No. 2 Factory or common oak, red and	
white	23.00

Flain Oak.		
4 in. 1st and 2ds	45.00@	\$47.00
5-4, 6-4 and 8-4 in. 1st and 2ds	47.00	52.00
4 in. Common	34.00	37.00
5-4, 6-4 and 8-4 in. Common	37.00	40.00
4-4 in. Culls	24.00	27.00
5-4, 6-4 and 8-4 in. Culls	26.00	30.00

SHINGLES.

(New York Lighterage Limits.)

6 x 18 No. 1	Heart Cypress Shingles\$7.50 per M.
6 x 18 No. 1	Primes or A's 6.50 per M.
6 x 18 No. 1	Red Cedar\$4.50@\$4.75
"Perfection"	Red Cedar 4.75
"Eureka" R	ed Cedar 4.25

HARDWOOD.

White Ash, 4-4 in., 1st and 2ds	\$52.00@	@\$55.00
White Ash, Common	36.00	38.00
Brown Ash	38.00	40.00
Basswood	37.00	40.00
Basswood, Common	32.00	34.00
Red Birch	47.00	50.00
Red Birch, Common	29.00	31.00
White Birch	35.00	36.00
White Birch, Common	24.00	26.00
Cedar	36.00	40.00
Cherry, 4-4, Nos. 1 and 2		
Cherry, 4-4, Nos. 1 and 2	93.00	-0.00
Cherry, Common		52.00
Chestnut, 4-4, 1st and 2ds	47.00	49.00
Chestnut, Common, 4-4	33.00	36.00
Cypress, 1st and 2ds, 1 in	46.00	
Cypress, 4-4 selects	40.50	
Cypress, 4-4 shop	29.00	
Cypress, 4-4 common	25.00	
Elm	25.00	30.50
Hazel	35.00	50.00
Maple, 4-4, 1st and 2ds	30.00	32.00
Walnut, Nos. 1 and 2	85.00	115.00
Walnut, Rejects	57.50	67.50
Culls	35.00	
Yellow Poplar, rough 5-8, 1st and	00.00	
2ds, 8-in. and up	49 00	45.00
o in and up	12.00	10.00

PREVAILING PRICES ON ROUGH NORTH CAROLINA PINE,

F. O. B. Car or Vessel at Norfolk, Va.

			NO. 3.	
4-4 Edge, under 12 ins.	\$26.00	\$25.00	\$17.00	\$14.00
4-4 Wide Edge, over 12	THE PARTY			
inches	40.00	33.00		
5-4 Wide Edge over 12				
inches	41.00	34.00		
5-4 x 10 inches	36.00	30.00	21.50	16.00
5-4 x 12 inches	40.00	33.00	23.50	17.00
6-4 Edge	32.00	28.00	19.00	15.00
6-4 x 10 inches	37.00	30.00	22.00	16.00
6-4 x 12 inches	41.00	33.00	24.00	17.00
8-4 Edge	33.00	29.00	19.00	15.50
8-4 x 10 inches	38.00	30.00	23.00	16.00
8-4 x 12 inches	42.00	33.00	25.00	17.00
Andrew Spirited School Spirited	arter man			
Red Heart Edge				911 00

Red	Heart	Edg	е				 	911.0x
Mill	Culls,	Edg	e				 	10.00
Red	Heart	and	Mill	Culls,	8	inches	 	12.00
Red	Heart	and	Mill	Culls,	10	inches	 	13.00
Red	Heart	and	Mill	Culls,	12	inches	 	14.00
Bark	Strip	s, No	s. 1	and 2			 	20.00
Bark	Strip	s, B	ox .				 	10.00

PAINTS, OILS, ETC.—Less activity in most paint commodities than during the previous fortnight has been the feature of the week. An exception is on the German oxides of zinc, which have been advanced ½ cent over former quotations. A seasonable amount of business is being transacted in dry colors notwithstanding. Varnish gums are comparatively strong.

More buyers are coming into the market for metallic paints. Consumers are interested in later deliveries, and better business is certain along this line not long hence.

The continued high price of seed has had the effect of stiffening the local linseed oil market considerably. The market may therefore be quoted as firm with a rising tendency.

The local market for turpentine was weak during the greater part of the week. All rosins are easier in the absence of important demand.

The Detroit Graphite Company, paint makers, of 141 Broadway, New York, with factories at Detroit, is supplying all paint used on the 27,000 tons of structural steel entering into the construction of the new Pennsylvania Terminal Station. This is believed to be the largest individual contract for protective paint ever awarded for a single structure, and upwards of 500 barrels are being furnished to complete the work.

OILS,	City	Prices.			
Linseed	Oil,	raw, 5	bbl.	lots.	 .\$0.43@\$0.44
Linseed	Oil,	boiled .			 45 .46

PAINTS, Dry.	per 1b.
Lead, red, American, in kegs Litharge, American, in kegs Ocher, Amer., per ton	.06% .07 .06% .07 8.50 16.00
Ocher, Amer, Golden	$.02\frac{1}{2}$ $.03\frac{1}{4}$ $.75$ 1.25
Tuscan red Yellow chrome, pure Vermillion	.07 .10
Oxide zinc, American	$.05\frac{1}{2}$ $.05\frac{1}{8}$ $.08\frac{1}{2}$ $.10\frac{3}{4}$

PAINTS IN OIL.

Lead, white, American, in oil:	
Lots of 500 lbs. or over	.06%
Lots less than 500 lbs	.071/4
Lead, English, in oil	.10%
Blue, Chinese	.46
Blue, Prussian	.36
Blue, Ultramarine	.16
Brown, vandyke	.14
Green, chrome	.16
Sienna, raw	.15
Sienna, burnt	.15
Umber, raw	.14
Umber burnt 11	14

WALL PAPER.—Manufacturers compete for the jobbing trade now have their samples on view in New York salesrooms or hotels identified as wall paper headquarters. The opinion in the trade is that the standard in color and design is higher than ever before, and quotations, at the same time, rarely moderate. A few years ago it was not deemed possible that the American market would ever demand such a fine art quality. Manufacturers report that conditions favor heavy buying, as business throughout the country is on the up grade, and the level of quotations generally lower than in a number of years.

Big Future for Cement in Rural Districts.

Mr. Morris Metcalf, assistant to President Ed. M. Hager, of the Universal Portland Cement Co., came to New York from Pittsburgh yesterday to complete the preparations in progress for the exhibit of his company in the rooms of the Concrete Association of America, 225 5th av. It was Mr. Metcalf's first visit to the display of concrete possibilities and he was delighted with the excellence and comprehensiveness of the exhibition. Coming originally from Chicago he has some interesting ideas of the progress of the cement industry and the extension of the use of concrete in all kinds of construction work.

'The past year or so has disclosed the great future for the cement industry in the agricultural districts," he said, in speaking of conditions in the West and "The increasing number West. of uses to which concrete is being put by farmers is astonishing. We find concrete fence posts, silos, troughs, cisterns, steps, horse blocks, chicken and other small houses about farm yards, foundations and walls for houses, barns, stalls, manure pits, etc. When it is realized that there are more than 45 millions of people in this country who are directly or indirectly engaged in agricultural pursuits, the significance of this can be grasped. The railroads have been ordering comparatively little cement the last year, but this depression in railroad work had been made up to a large extent by the multitude of small orders from farm-With about five millions of farms in the country an increase of but two barrels a year from each farm would mean ten millions of barrels in all. The future of the cement industry in the rural districts is going to rival the present demand in cities.

"Railroad work is picking up a little in the West. A few weeks ago the Northwestern was in the market for 400,000 barrels and closed contracts for the entire amount. The price of standard Portland cement is still low, being offered at the mill at about 80 cents per barrel. There is a tendency, however, for a rise."

Saving Lumber in Forms.

The forms required in concrete work provide one of the principal difficulties to be overcome, both in the way of expense and convenience. A claim of the Dietrich clamp for concrete wall forms is that it eliminates excess lumber, as well as nails, screws, bracing, shoring and time losses. C. R. Knapp, of C. R. Knapp & Co., Philadelphia, recently stated in a published article that it is his conviction, in the erection of a concrete stable, that the Dietrich method saved about 90 per cent. of the lumber ordinarily required for forms and that the little lumber used was afterwards requisitioned in the carpenter work, leaving no waste lumber when the job was finished. The clamp is designed for heavy construction, retaining walls, abutments, bridges, etc., and is manufactured by the Dietrich Clamp Co., Little Ferry, N. J.

New Kind of Roman Brick.

Person & Co., 160 5th av, are putting on the market a new Roman brick, now being manufactured by the Lexington Pressed Brick Co., Lexington, O. The brick is vitrified and of a different shade from the mottled face so frequently seen. It was stated at the office of Person & Co. that the demand for Roman brick appears to be reviving again.

The hotels are filling up with "buyers." Last year they were looking only for bargains, and were not heavy customers. This year they will do more business.

BUILDING OPERATIONS.

Apartment Hotel for Long Branch.

LONG BRANCH, N. J.-Plans are under way for the erection of an 8-sty fireproof apartment hotel, to be erected on the Jacob Rothschild plot on Ocean av, near Cedar av, Long Branch. Anthony La Forte, a real estate and insurance broker, of Manhattan, is the promoter. Apartments are to be composed of living rooms, two, three or four rooms each, with bath and kitchenette, large closets, lobby and alcoves, and independent porches. The building will be known as the "Shrubberies" Apartment Hotel, the porches and windows throughout the building to be covered with shrubbery patent water-proofed bed grown in troughs with fresh air inlets. The main floor will have a large piazza entirely surrounding the building with a grand entrance, foyer and elevators. There will be automatic water sprinklers and outlets. All walls and ceilings are to be finished with coatings of hydropyrine, making them always clean, cool and absolutely sanitary and washable. patent ventilating system will be installed throughout the building. To the right will be a library, ladies' reception room and dressing rooms. To the rear and left of the foyer is a large dining room for guests who do not desire the cares housekeeping; also dining rooms with alcoves and a gallery. The basement will have a grill room with private alcoves and a billiard room for the convenience of the guests. The main kitchen, store rooms, and laundry will be located in the rear part of the basement. The elevators, light, steam heat, ventilating and ice machinery will all be installed in sub-basement. On the roof, overlooking the ocean, will be a large sun playroom for the children.

John Wanamaker's Philadelphia Plans.

PHILADELPHIA.—It is announced that John Wanamaker has completed financial arrangements by which he will begin at once the construction of the last section of his big department store on the Chestnut st side of the block bounded by that street, Market, 13th and Juniper sts. Within a few days a mortgage for \$6,-000,000 to the Land, Title & Trust Company, as trustee, to secure an issue of bonds of a like amount, will be filed with the Recorder of Deeds. About \$3,500,000 will be required to pay off obligations outstanding and the remaining \$2,500,-000 will be used in the erection of the last section of the store. Bids for the construction of the new section will be invited shortly. Officers of the Land, Title & Trust Company state that the bonds have been subscribed for at par by a coterie of financial men in this city and New York. The bonds will bear 5 per cent. interest and run for five years. Burnham & Co., of Chicago, are the archi-

High Apartment House for Gramercy Park.

GRAMERCY PARK.—J. Riely Gordon, 402 5th av, has been commissioned to prepare plans for a 12-sty elevator apartment house to be erected on the east side of Gramercy Park, near 22d st, for John E. Olson, the builder. It was announced in January last that Charles Buek, of 500 5th av, was contemplating the erection of such a building in Gramercy Park, to cover 5,600 square feet, but the report at that time proved to be unauthorized. So far as could be learned on Friday no building contracts have yet been signed. The site is now covered with a row of stone dwellings under leaseholds,

Building at Borough Park, Brooklyn.

BOROUGH PARK.-Shampan & Shampan, 772 Broadway, Brooklyn, are preparing plans for a 4-sty brick corner apartment building to be erected at the southwest corner of 12th av and 60th st, Borough Park, Brooklyn, for Harris Wilner of Borough Park. The plans will call for an exterior of gray Roman brick with Indiana limestone trimming in a modern type of architecture, with cypress hardwood finish and Standard Sanitary Mfg. Co. plumbing. The same architects are also planning a similar building for the same owner in the south side of 60th st, 20 ft. west of 12th av. Same trim, plumbing and exterior. This operation is to be started at once for which ground is to be broken within a week.

Contracts for 4th av and 17th st Building.

4TH AV.—The Hay Foundry & Iron Works, 114 East 28th st, has just obtained the contract to furnish and erect 2,700 tons of steel necessary for the new 16-sty office building which the Century Realty Co., 111 Broadway, is about to erect at the northwest corner of 4th av and 17th st, facing Union sq. The building will cover a plot 142 ft. on 4th av and about 128 ft. in Union sq, in all nearly 16,500 sq. ft. The George A. Fuller Co., Fuller Building, has the general contract. Messrs. Goldwin, Starrett & Van Vleck, 150 5th av, are the architects. See issues June 20, Aug. 1, 1908.

Fountain & Choate to Erect Tooth Building.

5TH AV.—Henry Otis Chapman, 334 5th av, architect for the new business building to be erected for Arthur Tooth, the London picture dealer, as lessee, at the corner of 5th av and 47th st, on the plot now occupied by the residence of Hon. Perry Belmont, 25.6 ft. on 5th av and 100 ft. in 47th st, has awarded the general contract to Messrs. Fountain & Choate, No. 110 East 23d st. The structure will be nine stories in height and fireproof. (See issue July 18, 1908.)

Large Contract for Whitney-Steen Co.

MADISON AV.—The Whitney-Steen Company, engineers, contractors and builders, 135 Broadway, has just received the general contract to erect the 16-sty office building, 49.4x100 ft., which Margaret S. E. Cameron, of Clifton, Staten Island, will build at the northeast corner of Madison av and 34th st, at a cost of \$300,000. Messrs. Clinton & Russell, 32 Nassau st, are the architects.

Latest 51st Street Improvement.

51ST ST.—Messrs. W. W. & T. M. Hall, No. 11 East 42d st, have just purchased the 4-sty brownstone house, No. 12 West 51st st, covering a plot 22x100.5 ft. The building will be renovated into an American basement dwelling, installing an electric elevator, and complete equipment. Welch, Smith & Provot, 11 East 42d st, have been architects in previous operations.

N. Serracino Plans Fireproof Residence.

MONTCLAIR, N. J.—Architect N. Serracino, 1123 Broadway, Manhattan, is preparing plans for a residence to be built in Montclair, N. J., for J. Gifuni, owner. The building will be fireproof throughout; outside walls will have stucco finish, decorated with graffito paintings, which is a special decoration greatly used in Italy during the Renaissance period in the fifteenth and sixteenth centuries,

Apartments, Flats and Tenements.

MANHATTAN.—The 5-sty tenement No. 52 East Broadway, will be improved by Harris N. Goodstein, 83 Canal st, from plans by Max Muller, 115 Nassau st.

MANHATTAN. — Daniel Cunningham, 101 West 42d st, will make extensive alterations to the 5-sty tenement No. 141 East 13th st. O. Reissmann, 30 1st st, is making the plans.

LONG ISLAND CITY, L. I.—Steinway av, east side, 97 ft. south Flushing av, will be improved by Anton Kazek, 682 7th av, with one 3-sty brick tenement, 25x64 ft., to cost \$6,600.

MANHATTAN.—Wm. A. Roos, 32 Marble Hill av, will erect a 5-sty flat building, 30.6x87 ft., in the north side of 225th st, 56 ft. west of Broadway, to cost \$26,-000. J. Brandt, 1511 3d av, is preparing the plans.

WOODHAVEN, L. I.—Wyckoff Park Co., 44 Court st, Brooklyn, will build on Jamaica av, southeast corner Suydam st, Woodhaven, from plans by B. Driesler, one 3-sty brick store and tenement, to cost \$10,000.

RIDGEWOOD, L. I.—Spaeth & Saenger, 927 Broadway, Brooklyn, will build in Grove st, southwest corner Fairview av, from plans by L. Berger & Co., one 3-sty brick store and tenement, 25x69 ft., to cost \$8,000.

BRONX.—Albert Rothermel, 411 East 144th st, is preparing plans for a 4-sty corner apartment house, 25x100 ft., for Messrs. Mulhare & Donohue, builders, to be erected at the southwest corner of Mapes av and 181st st, Bronx.

Churches.

TRENTON, N. J.—A new church to be known as the Greenwood Ave. Episcopal Church has recently been formed and it is stated that the erection of a new edifice is being considered.

MANHATTAN.—N. Serracino, of 1123 Broadway, Manhattan, has been commissioned by the rector of the Church of the Resurrection to prepare plans and specifications for a church, school and rectory to be erected in West 151st st, between 7th av and McComb's pl.

Dwellings.

FLUSHING, L. I.—On Queens av, south side, 201 ft. east Parsons av, Flushing, Edw. A. McDougall, 92 Bowne av, will build one 2½-sty frame dwelling, 36x34, to cost \$8,000.

MASPETH, L. I.—Fiske av, east side, 125 ft. south Clinton av, Maspeth, will be improved by Adam Kropp, Lexington av, Maspeth, with one 2-sty brick dwelling, to cost \$4,000.

MALBA, L. I.—Eighteenth st, north side, 80 ft. east Boulevard, Malba, will be improved by Wm. Hoeler, East 47th st, New York City, with one 2-sty brick dwelling; cost, \$6,000.

WOODHAVEN, L. I.—The Parkway Const. Co., of Woodhaven, will build on Jamaica av, northeast corner Leggett av, Woodhaven, three 3-sty dwellings, with stores, 21x55 ft., to cost \$21,000.

RIDGEWOOD, L. I.—Green av, north side, 100 ft. west Onderdonk av, Ridgewood, will be improved by Nick Schmitz, 1671 Greene av, Ridgewood, with one 2-sty brick dwelling, to cost \$4,000.

RICHMOND HILL, L. I.—Elm st, southeast corner Orchard av, Richmond Hill, will be improved by L. H. Moss, Elm and Orchard avs, Richmond Hill, with one 2-sty dwelling, to cost \$11,000.

EVERGREEN, L. I.—Katherine Doenecke, 216 Washington av, Brooklyn, will erect in Foxhall st, south side, 22 ft. west Forest av, Evergreen, seven 2-sty dwellings, 20x55 ft., to cost a total of \$28,000. GLENDALE, L. I.—On Woodhaven av, east side, 25 ft. north Nichols av, J. Pffiefer, Jr., 183 Norman st, Glendale, will erect from plans by L. Berger & Co. one 2-sty brick dwelling, 25x76 ft., to cost \$5,000.

DOUGLAS MANOR, L. I.—At Grosvenor st and Centre drive, Douglas Manor, will be erected one 2½-sty brick dwelling, 40x40 ft., to cost \$8,000. F. Prindel, 36 East 21st st, New York, owner; architect, E. S. Child.

RIDGEWOOD, L. I.—Plans have been drawn by See & Bryson for one 2-sty brick dwelling, 25x60 ft., to be situated in Foxhall st, west side, 160 ft. west Anthon av, for David Keney, Forest av, Ridgewood.

GLENDALE, L. I.—Indiana pl, north side, 100 ft. east Washington av, Glendale, will be improved by Wm. Albrecht, Indiana pl, with two frame dwellings, to cost \$6,000. L. Berger & Co., Brooklyn, architects.

BROOKLYN.—Jacob Sommer, 545 Macon st, Brooklyn, President of the Macon Construction Co., has purchased 16 lots at the northeast and southeast corners of Av C and West st, Brooklyn, and will erect 18 3-family houses.

ARVERNE, L. I.—John H. Hanley Realty Co. has purchased a plot of 80 lots with a club house on the bay front at Arverne, L. I., for the Somerville Realty Co. The property will be improved, new houses built and the club house opened for the season of 1909.

NEWARK, N. J.—About \$10,000 is to be expended by City Counsel James R. Nugent in the erection of a 3-sty brick private residence at 614 High st. Clinton Mackenzie, 82 Beaver st, Manhattan, has made the plans. The Byrnes Building Company, of Elizabeth, are the builders.

NEW HAVEN, CONN.—Architects Brown & Von Beren will make some changes in plans for the handsome residence to be erected on Whitney av for Emanuel H. Thalheimer and a few contractors will submit new bids. It is expected that the contracts will be let in about a week.

Factories and Warehouses.

PULASKI, N. Y.—The Ontario Iron Works will erect a 2-sty brick addition, 54x150 ft.

NEWBURGH, N. Y.—Joseph Chadwick's Sons, Lake and Dixon sts, are having plans prepared for an addition to their bleachery building.

LANCASTER, N. Y.—The American Malleable Co. will build a 1-sty brick addition, 100x200 ft., to its foundry. John R. Robinson, Mgr., will have charge of the work.

NIAGARA FALLS, N. Y.—The Carter-Crume Co. has prepared plans and will receive bids this month for an addition to its factory on Highland av, to cost approximately \$40,000.

NEWARK, N. J.—Hooper & Co., 118

NEWARK, N. J.—Hooper & Co., 118 Market st, Newark, have completed plans for a 3-sty brick warehouse which Joseph Oschwald will erect at 213 Halsey st. Building will be 25x83 ft., and cost \$12,-000. The owner will be the builder.

BRISTOL, CONN.—Work has begun on the new factory of the American Taximeter Co., to be known as the Bristol Engineering Co., at Bristol. The factory is to be one of the largest in this section, plans calling for a floor space of 18,-000 sq. ft.

NEWARK, N. J.—The Magnesia Co. of America has filed plans for a large storage and finishing building which it is to erect at its plant on Riverside av at the foot of Grafton av, Newark. Frame construction, two stories high, 50×200 ft. The cost is given at \$10,000.

NORTH TONAWANDA, N. Y.—The plant of the American District Steam Co., recently destroyed by fire, is to be

rebuilt. Charles R. Bishop, Secy. and Gen. Mgr. of the company, Lockport, N. Y., is having plans prepared for two brick and steel buildings to replace the buildings burned.

BRIDGEPORT, CONN.—George C. Batcheller & Co., manufacturers of corsets, have awarded the contract for a substantial enlargement of their plant. The old factory building of the Bronze & Copper Co. have been razed and the site will be utilized for the erection of a 4-sty brick factory, 54x203 ft.

JERSEY CITY, N. J.—The Turner Construction Co., 11 Broadway, Manhattan, has awarded the heating contract to Baker, Smith & Co., 83 West Houston st, New York, and the plumbing to W. W. Farrier Co., of 44 Montgomery st, required for the construction of a 6-sty reinforced concrete factory and warehouse, 38x100, at 39 and 41 Essex st, for R. U. Delapenha Co., of 17 Jay st, New York. The new building will cost \$40,000.

Halls and Clubs.

BAYONNE, N. J.—The Young Men's Christian Association will shortly begin the erection of a new club house to take the place of the old club quarters recently destroyed in West 10th st.

SPRINGFIELD, MASS.—Hoggson Bros., 81 Church st, New Haven, Conn., have secured the contract to erect the 3-sty Y. W. C. A. building in Howard st. Estimated cost, \$100,000. E. C. & G. C. Gardner, 33 Lyman st, Springfield, are architects.

MERIDEN, CONN.—Meriden Lodge of Elks has filed incorporation papers with the Secretary of State as a preliminary to putting up a clubhouse to cost \$25,000. The lodge has an option on the Henry B. Beach property which extends from Crown to South Colony sts.

BATAVIA, N. Y.—The Masonic Building Association, W. G. Pollard, Ch. Bldg. Com., will erect a 3-sty and basement temple, lodge, store and office building, 73x68 ft., at a cost of \$40,000. Robert North, 1326 Prudential Building, Buffalo, N. Y., is architect, and will receive bids at once.

Hospitals and Asylums.

TROY.—According to reports, \$25,000 has been raised toward the erection of a new hospital for treatment of tuberculosis at this point.

FORT SLOCUM, N. Y.—An isolation hospital is to be constructed at Fort Slocum, N. Y. The plans and specifications have been approved and the constructing quartermaster of the post directed to call for bids immediately.

TARRYTOWN, N. Y.—Tarrytown Hospital has just received a check of \$25,000 from John D. Rockefeller toward building fund for a new hospital, on condition that \$50,000 is raised by public subscription. R. A. Paterson is treasurer.

BROOKLYN, N. Y.—Board of managers of the Orphan Asylum, Atlantic and Kingston avs, Brooklyn, are endeavoring to raise funds to the amount of \$15,000 to be used for the erection of a new detached hospital building. Address the board for further information.

Hotels.

ITHACA, N. Y.—A. H. Platts, of Ithaca, and Walter H. Bradley, of Meriden, Conn., who are proprietors of the Ithaca Hotel, have decided to build an annex to the hotel. Architect W. H. Mi'ler will make the plans.

Office and Loft Buildings.

NEWARK, N. J.—A large 3-sty-andbasement brick loft building is soon to be built at 44 and 48 Spring st, Newark, from plans drawn by William E. Lehman, at a cost of about \$18,000. L. Steiger &

Turner Construction Co.

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Co. will be the owners; 50x125 ft., mill

construction, equipped with power.

NEWARK, N. J.—Plans are out for the erection of a 7-sty commercial building at 52 Academy st, Newark, costing \$50,-000. Work will probably start on Sept. 15 and the structure will be built and owned by Walter A. Isetts, a well-known Newark contractor. In construction the new building will be erected of brick, with a brownstone front facing, and the first floor will be devoted to store purposes. The upper floors will be used for

Public Works.

FORT HUNTER, N. Y.—The Highway Commissioners will build a bridge over the Schoharie River. Estimated cost, \$25,000. Bids will soon be asked.

N. Y .- The Citizens Electric Service Co. has been granted permission by the Public Service Commission at Al-

bany to construct an electric plant.

SENECA FALLS, N. Y.—Bids are asked until 4 p. m., Aug. 27, by John M. Guion, Clk. Municipal Bd., for the construction of a septic tank and appurten-

NEW BRUNSWICK, N. J.-Bids are asked until Aug. 31, by John S. Kemp, Street Comr., for laying about 2,000 ft. of 15-in. sewer pipe, and 3,000 ft. of 10in, sewer pipe.

JAMESBURG, N. J.-Bids are asked until 10 a. m., Sept. 2, by the Board of Trustees of the State Home for Boys for constructing a macadam road in the grounds of the home. Peter Forman is Engr., Englishtown, N. J.

ITHACA, N. Y .- Plans are being prepared in the office of Frederick K. Skene, State Engr., Capitol Building, Albany, for the construction of three steel bridges here at the following streets: Buffalo st, State st and Seneca st. Bids will soon be asked by the State Commissioner of Public Works. The appropriation for the work is \$125,000.

Schools and Colleges.

TROY, N. Y .- Architects of Troy will submit plans for a new public school building, plans to be in next week.

FLEMINGTON, N. J.-The citizens have voted in favor of issuing \$45,000 bonds to erect an addition to the primary

NEW BRUNSWICK, N. J .- The Board of Education has secured a site on Bartlett st for the erection of a school, to cost about \$65,000.

ATLANTIC CITY, N. J.-Plans have been adopted for a grammar school to be erected on Ohio av, adjoining the high school, the cost to be \$15,000.

JERSEY CITY, N. J.—The Board of

Finance has authorized a bond issue of \$900,000 for the erection of two public schools and the repairing of others.

TRENTON, N. J.-A parochial school is soon to be erected in Bayard st at a cost \$24,000. The building will be paid for by St. Joachim's Parish and Contractor Daniel Dugan will do the work.

LE ROY, N. Y.-Sites are now being discussed for the proposed high school here. It is planned to purchase property and erect a building to cost \$75,000. Address the School Board for further information.

FLEMINGTON, N. J.-The Board of Education of Raritan township recently held a special election, when it was voted to erect a new public school building to cost about \$45,000. Address School Board for further information.

CENTRAL VALLEY, N. Y.—Election will soon be called for the purpose of voting on \$30,000 bonds for the erection of a new school here. J. J. Howell or W. H. Gildersleeve can be addressed for further information regarding the matter.

CORNING, N. Y .- The Board of Education of District No. 13, comprising the North Side High School District, has approved of the plans of Architect Otis Dockstader, of Elmira, for the new High School building which is to be erected

ROCHELLE PARK, N. J.—Work of building the new \$68,000 high school at Rochelle Park was begun Saturday last. E. L. Lillibridge is president of the Board of Education. The building will be of reinforced concrete and one of the largest and best equipped in that section. It will be ready for occupancy next June.

HUNTINGTON, L. I.—The contract was signed the past week for materials for the Huntington High School building. W. R. Bingham, of Coldspring Harbor, who has the contract to construct the building, has contracted for 115,000 red pressed brick for face use, and 100,000 hollow brick for the walls. A. W. Tuthill, a Suffolk County man, handles the contract.

Theatres.

N. J.—The AVALON. question of spending \$50,000 in the erection of a new casino at this place is being considered.

RENSSELAER, N. Y .- Plans are being drawn in competition by several Albany architects for a large amusement auditorium to be erected in Rensselaer by J. J. Sullivan and others.

Bids Opened.

The McHarg-Barton Co., at \$13,700, submitted the lowest bid for furnishing labor and materials and erecting boundary and partition fences for the elephant house vards in the New York zoological park, in Bronx Park.

At this writing bids are being tabulated by the Park Board, which were opened on Thursday, for the construction of the approaches to the new Public Library in 5th av. The amounts of the bids range from \$525,000 to \$780,000. The architects are Carrere & Hastings, 225 5th av.

New York City opened bids on Wednesday for furnishing and laying 1,000 tons of steel pipe, and on August 26 will open bids for furnishing 1,-800 tons of cast pipe. The Warren Foundry & Machine Co., 111 Broadway, secured the contract for pipe awarded by Meriden, Conn., last week. R. D. Wood & Co. were successful in bidding for 350 tons desired by the city of Yonkers, N. Y.

Bids were opened by the Board of Education Wednesday, Aug. 19. No. 1. For fireprotection at P. S. 16 and P. S. 35, Brooklyn. Joseph Ryan, P. S. 16, \$11,500, P. S. 35, \$5,027, was low bidder. Other bidders were: William Werner, Clarke & Stowe. No. 2. For fire protection at P. S. 73, Brooklyn. Joseph Ryan, \$21,750, was low bidder. Other bidders were: Clarke & Stowe, William Werner, Thomas Mc-Keown.

Contracts Awarded.

MANHATTAN.-Louis Muller, 500 5th av, has the contract for alterations to the 4-sty store and hotel, No. 1544 Broadway, owned by S. E. Appleby, 55 Liberty st.

MANHATTAN. — Lawrence Tivy, 13 Platt st, has received the contract for MANHATTAN. — Lawrence the steam heating in the 10-sty building Nos. 11-13 Cliff st. William Young Co., general contractors.

PRINCETON, N. J.—The W. B. Foster Electrical Co., Manhattan, has received the contract for the electrical work for the biology and geology building in course of erection at Princeton.

The Otis Elevator Co., 17 Battery pl Manhattan, has received the contract to equip the public building at Huntington, West Virginia, with passenger elevators. To be installed by Nov. 21 this year.

MANHATTAN.-Chas. T. Wills, 156 5th av, has obtained the contract for the construction of a brick and concrete storage vault for the Presbyterian Hospital, Park av, northwest corner 71st st, from plans by James B. Baker, 156 5th av.

MANHATTAN.-The Jordan Construction Co., 449 West 28th st, has received the contract for improvements to No. 6 Stone st, from plans by Thomas H. Styles. The Misses K. A. and E. Murphy, 226 Clinton st, Brooklyn, are the

BROOKLYN.-W. A. L'Hommedieu & Co., 1 Madison av, Manhattan, has received the contract from plans by J. M. Murphy, architect, 302 Broadway, for constructing a 6-sty brick building for Stores, at Myrtle av the Mason Bridge st, Brooklyn.

has MANHATTAN. - Contract awarded to Baker, Smith & Co., 83 West Houston st, for steam heating for the new 16-sty office building which the Sinclair Realty Co., 31 Nassau st, will erect at the southeast corner of Broadway and 8th st, to cost \$40,000. Wm. L. Crow Const. Co., 289 4th av, is general contractor.

The Dillman Fireproof Construction Co., 225 5th av, has taken the contract for all the reinforced concrete work to be installed in the car barns of the New York City R. R. Co., in course of erection at 99th st and Lexington av, Murphy Bros., general contractors. The Dillman Co. is also progressing rapidly in completing the concrete work in the car barns at 147th st and Lenox av, and will probab'y begin work on the 9th st barns early next month.

Estimates Receivable.

By the President of the Borough of Brooklyn, Wednesday, Sept. 2: No. 1, for constructing sewer in Prospect pl, from Hopkinson av to Eastern Parkway.

Bids will be received by the Commissioner of Docks, Thursday, Aug. 27: No. 1. For repairing asphalt pavement on North and East Rivers, together with all work incidental thereto. No. 2. For furnishing and delivering machine and blacksmith shop supplies for use in the Borough of Brooklyn.

By the President of the Borough of Queens, Tuesday, Aug. 25: No. 1. For regulating, grading, curbing, flagging, setting and resetting bridgestones and repaving with granite block pavement on a sand foundation the roadway of Jackson av and intersecting streets, from Skillman av to Rapelye av; Hunter av, from Jane st to Harris av; Halsey st, from Fulton av to Franklin st.

By the Park Board, Thursday, Aug. 27: No. 1. For furnishing and delivering timber (No. 2, 1908) for parks, Borough of No. 2. For materials necesthe Bronx. sary to underpin a masonry retaining wall at Highland Boulevard and New Jersey av, Brooklyn, together with all the work incidental thereto. No. 3. For constructing cement curb and sidewalks around the park at Westerleigh, in the Borough of Richmond.

By the President of the Borough of the Tuesday, Aug. 25: No. 1, for furnishing and delivering broken trap rock stone and screenings. No. 2, for regulating, grading, setting curbstones, flagging the sidewalks, laying crosswalks. building approaches and placing fences in Belmont st, from Weeks av to Eden av; 138th st to East 148th st; East 136th st, from Lincoln av to Alexander av, and setting curb where necessary, together with all work incidental thereto.

Government Work.

Sealed proposels will be received Aug. 24 for tile work in cadet mess hall and cadet hospital at West Point, N. Y. Address Quartermaster, West Point, N. Y.

U. S. Engineer Office, Wheeling, W. Va.—Sealed proposals for building a power house at dam No. 13, Ohio River, will be received Aug. 31. F. W. Altstaetter, Captain, Engineers.

U. S. Engineer Office Boston, Mass.—Sealed proposals for building riprap sea wall, Fort Heath, Winthrop, Mass., will be received Aug. 26. Edw. Burr, Lieutenant Colonel, Engineers.

Boston, Mass.—Sealed proposals for furnishing and delivering electrical machinery, cable, rails, trolley and track material, etc., will be received Aug. 31. Edw. Burr, Lieut. Col., Engrs.

Washington, D. C.—Sealed proposals will be received the 16th day of September for the construction (complete) of the extension of the U. S. Post Office at Youngstown, O. James Knox Taylor, Supervising Architect.

Washington, D. C.—Sealed proposals will be received Sept. 17 for an extension of the bond vault in the U. S. Treasurer's office in the U. S. Treasury Department Building, Washington, D. C. James Knox Taylor, Supervising Architect.

Proposals for elevator will be received at the bureau of yards and docks, Navy Department, Washington, D. C., Sept. 5, for furnishing and installing an electric elevator at the navy yard, Bremerton, Wash. R. C. Holliday, Chief of Bureau.

Washington, D. C.—Sealed proposals will be received the 18th day of September for the installation of a vacuum cleaning system for the U. S. Post Office and Court House building at Rochester, N. Y. James Knox Taylor, Supervising Architect.

U. S. Army, 263 Summer St, Boston, Mass.—Sealed proposals will be received Aug. 25 for the construction of a crematory building and the construction and erection of a garbage crematory at Fort Andrews, Boston Harbor, Mass. Address Captain Ira L. Fredendall, Constructing Quartermaster, Boston, Mass.

An advertisement will soon be issued from the Isthmian Canal Commission calling for bids for furnishing 75,000 red brick, 30,000 fire brick, 2 plate riveted frogs. For the dock at La Boca, bids will be asked for furnishing 102 pieces of creosoted hard pine, 14 inches by 14 inches by 24 inches, to be used for bridge and trestle.

Office of the Superintendent of Prisons and Prisoners, Washington, D. C.—Sealed proposals will be received Sept. 2 for furnishing and delivering at the United States Penitentiary, Atlanta, Ga., 200 gallons asbestos, or similar, fire and waterproof paint. R. V. LaDow, Superintendent of Prisons and Prisoners, Department of Justice, Washington, D. C.

Bids were opened at the office of the superintendent of the U. S. Capitol Building and Grounds, in response to circular letter, for furnishing two electric passenger elevators and accessories for the House wing of the U. S. Capitol Building as follows: Thomas W. Power Elevator Co., Washington, D. C., \$9,986, low bid. Other bidders were: Marine Engine & Machine Co., 230 West 13th st, Manhattan, and the Otis Elevator Co.

Brief and Personal.

Cooler weather helps a lot.

The city feels a little better in a business way since the hot wave passed.

Allen D. Woods, naval architect, has opened an office in the Hudson Terminal Building, 50 Church st.

Mr. G. H. Cheesman, of the Otis Elevator Co., is back at his desk after a vacation of several weeks.

Watch those vacancies in uptown apartment houses and tenements disappear as October draws nearer.

Mr. C. R. Cullingworth, formerly with the Atlas Portland Cement Co., is now a representative of the Edison Portland Cement Co.

Mr. Wm. J. McCormick has closed his desk in the office of John W. Rapp, 1 Madison av, to enjoy a vacation of several weeks.

The Chester B. Albree Iron Works Co., Allegheny, Pa., has taken a contract for fabricating about 12,000 ft. of railing for the Blackwell's Island Bridge.

Mr. John F. Steeves, of Church E. Gates & Co., Harlem, left with a party of Buffalo friends for the Turtle lakes in Canada, where several weeks of fishing and other sport will be spent.

Henry Killam Murphy and Richard Henry Dana, Jr., architects, announce that they have entered into partnership and will continue the practice of architecture at 103 Park av. Telephone 2640—38.

The J. B. & J. M. Cornell Co., 11th av and 26th st, has the iron work up to the fourth story tier of beams for the __-sty office and loft building at Nos 99-101 5th av, for the One Hundred and One Fifth Avenue Building Co., to cost \$300,000. The steel contract calls for 500 tons. Mulliken & Moeller, 103 Park av, are the architects.

J. W. Yohe, of Canton Steel Ceiling Co., 525 West 23d st, has returned from a vacation, spent at Canton, Ohio. During his visit at Canton he gathered some information regarding prices, etc., that will be of interest to the building trade, and is now ready to take up any business in the line, both with his old as well as new customers.

Highly mysterious—the New Haven Railroad's plans. But if the great corporation should build a subway down Lexington av to the Battery, and north to a connection with the Portchester road, which President Mellen says will surely be constructed—there would be great doings for house builders between 33d st and the Connecticut line.

Mr. Eli Benedict, architect, will conduct the class in architectural drawing in the night school at the 23d st Y. M. C. A. during the coming season (Oct. 1, 1908, to about June 1, 1909,) as heretofore. A class in plan, reading and estimating will also be formed. Particulars as to either of these courses, terms, etc., may be had on application by mail or in person to the office of the Educational Director of the 23d Street Y. M. C. A., No. 215 West 23d st, New York City.

Centrifugal Pumps.

Within recent years the centrifugal pump has been encroaching more and more on the field of the reciprocating type.

The introduction of the multiple stage principle in centrifugal pump construction has made it possible to build these pumps for heads up to one thousand feet and over, and to-day there are hundreds of these pumps in use in water works and other high duty pumping stations.

The Erie Pump & Engine Co., of Erie, Pa., builds centrifugal pumps for all work to which plunger or reciprocating pumps are adapted; as in house service, refineries, breweries, ice plants, cofferdam work, draining flooded excavations and cellars, general contractors work, supplying condenser systems, in paper mills, water works and suction dredges.

The latest catalogue from the Erie P. & E. Co. contains tables of specifications and prices of the various kinds of pumps, directions for setting, a table of statistics of the friction of water passing through pipes, tables of the various speeds required for different heights and also the horsepower recommended per foot of lift.

In this connection it should be stated that the "height" is measured vertically from the surface of the water at the suction end to the point of discharge of the liquid, and includes the height of "suction" and discharge. It is a well known fact, that twenty-five feet is the practical limit for suction lift, and so far as the working of the Erie pump is concerned, it is immaterial whether the suction is long or short within the above limit. As the suction pipe must be air tight it is customary to keep it as short and as free from joints as possible.

A pump is either right or left handed according to whether the discharge is on the right or left side, when looking at the pump from the suction end. All pumps are right handed unless otherwise ordered. The pumps will operate only when run in the proper direction, and the rule for direction is as follows: When facing the pump from the suction side, the pulley should rotate in a direction opposite to that of the hands of a clock when pump is right handed, and conversely for a left handed pump.

BEFORE entering into a contract for foundations involving expensive shoring, sheet piling, pumping, excavation and masonry, let us show you how we can eliminate these factors.

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WATERTIGHT CELLARS AND FLOORS DAMPPROOFING AND INSULATING CORNICES, SKYLIGHTS GUTTERS AND LEADERS

PROJECTED BUILDINGS

The first name is that of the ow'r; ar't stands for architect; m'n for mason, c'r for carpenter, and b'r for builder.

When character of roof is not mentioned, it is to be understood that the roof is to be of tin.

BOROUGH OF MANHATTAN.

SOUTH OF 14TH STREET.

Spruce st, Nos 21-21½ | 9-sty brk and stone club, office and store William st, Nos 187-189 | building, 62x36.11; cost, \$100,000; New York Press Club, care of architect; ar't, Ernest Greene, 5 Beekman st.—350.

Av'A, No 49, two 1-sty brk and stone outhouses, 11x7; cost, \$2,000; L Schwartz, 1521 Madison av; ar't, G Haug, 183 Liberty st.—352.

BETWEEN 14TH AND 59TH STREETS.

34th st, No 11 W, 6-sty brk and stone loft building, 25x113.11, slag roof; cost, \$20,000; Eleven West 34th Street Co, 1 W 34th st; ar't, David M Ach, 1 Madison av.—347.

Broadway, n w cor 31st st, 11-sty brk and stone store and loft bldg, 84.1x138.3, tile and composition roof; cost, \$350,000; Wm R H Martin, Greenwich, Conn; ar'ts, Townsend, Steinle & Haskell, Broadway and 34th st.—345.

BETWEEN 59TH AND 125TH STREETS, EAST OF 5TH AVENUE.

Park av, n w cor 71st st, 1-sty brk and concrete storage vault, 14x 42.8; cost, \$3,500; The Presbyterian Hospital, Madison av and 70th st; ar't, James B Baker, 156 5th av.—343.

BETWEEN 59TH AND 125TH STREETS, WEST OF 8TH AVENUE.

19th st, s s, 50 e Amsterdam av, 6-sty brk and stone tenement, 100x87.5 and 113.11; cost, \$125,000; Jumel Realty & Const Co, 1320 Madison av; ar'ts, Sommerfeld & Steckler, 19 Union sq.—341.

NORTH OF 125TH STREET.

NORTH OF 125TH STREET.

178th st, n s, 85 e Audubon av, two 5-sty brk and stone tenements, 42.6x88; total cost, \$86,000; South Side Construction Co, 123 W 121st st; ar't, John Hauser, 360 W 125th st.—349.

179th st, s s, 187 w Audubon av, 5-sty brk and stone tenement, 38x 88; cost, \$40,000; Abraham Ruth, 123 W 121st st; ar't, John Hauser, 360 W 125th st.—348.

Audubon av, s e cor 185th st, 5-sty brk and stone tenement, 26.11 x85.6; cost, \$25,000; Robertson & Gammie, 710 E 138th st; ar't, J C Cocker, 2010 5th av.—344.

Broadway, s w cor 151st st, 6-sty brk and stone tenement, 99.11x 140; cost, \$225,000; B Crystal, 21 and 23 W 34th st; ar'ts, Neville & Bagge, 217 W 125th st.—342.

Wadsworth av, s e cor 180th st, 6-sty brk and stone apartment house, 75x90 and 87; cost, \$100,000; Elias Gussaroff, 600 W 142d st; ar'ts, Moore & Landsiedel, 3d av and 148th st.351.

7th av, Lenox av 1-sty concrete oil and storage house, 11.5x33; 148th and 149th sts cost \$2,500; Interborough Rapid Transit Co, 21 Park Row; ar't, Geo H Pegram, 21 Park Row.—346.

Polo Grounds —-sty concrete and frame bleechers, 170 8th av, 157th to 159th sts x64; cost, \$4,000; National Base Ball League, premises; ar't, W D Hunter, 149 Broadway.—353.

BOROUGH OF THE BRONX.

Fort Independence st, w s, 228 s Bailey av, two 2-sty and attic frame dwellings, peak, shingle roof, 20x35 each; total cost, \$8,-000; Ahneman & Younkheere, 3320 Bailey av; ar'ts, Ahneman & Younkheere, Inc, 3320 Bailey av.—616.

Madison pl, n s, 60 e Young st, 2-sty brk dwelling, 25x58; cost, \$6,000; Lucy Zinco, 437 E 14th st; ar't, B Ebeling, 1136 Walker av.—617.

av.—617.

173d st, s w cor Bathgate av, 2 brk tenements, one 6-sty, 48x63, and one 5-sty, 52x58; total cost, \$100,000; One Hundred and Seventy-Fourth Street Const Co, Ignatz Roth, 216 E 60th st, Pres; ar't, Geo Fred Pelham, 503 5th av.—625.

216th st, n s, 200 w Tilden av, 2-sty brk tenement, 24.9x51.10; cost, \$5,500; Rosario Spitaleri, 744 E 214th st; ar't, J J Vreeland, 2019 Jerome av.—615.

Balcom av, s s, 100 w Fort Schuyler road, 2-sty brk dwelling, 20x 31.8; cost, \$4,000; Mrs Patrick Moynihan, Earle House, Fort Schuyler road; ar't, Daniel MacLean, 1416 Balcom av.—614.

Barnes av, w s, 100 s 239th st, 2-sty frame dwelling, 21x52; cost, \$4,000; Dr Geo Fisher, 345 E 84th st; ar't, Hy Nordheim, Tremont av and Boston road.—627.

Clay av, e s, 39.6 n 168th st, six 5-sty brk tenements, 40.3x68; total cost, \$210,000; Alfred J Schwarzler, 134th st and Brook av, ar't and ow'r.—626.

total cost, \$210,000; Alfred J Schwarzler, 134th st and Brook av, ar't and ow'r.—626.

Findlay av, e s, 190 s 169th st, six 2-sty frame dwellings, 16.8x45 each; total cost, \$21,000; Thornton Bros Co, 1320 Clay av; ar't, Geo P Crosier, 223d st and White Plains av.—613.

Findlay av, e s, 90 s 169th st, six 2-sty frame dwellings, 16.8x45 each; total cost, \$21,000; Thornton Bros Co, 1320 Clay av; ar't, Geo P Crosier, 223d st and White Plains av.—612.

Grace av, n s, 119 w Westchester av, 2-sty brk dwelling, 20x45; cost, \$5,500; S B Steinmetz, 1419 Parker av; ar't, H G Steinmetz, Bronx st and Tremont av.—621.

Hughes av e s, 212 10 s Pelham av, 3-sty brk tenement, 20x55; cost.

Hughes av, e s, 212.10 s Pelham av, 3-sty brk tenement, 20x55; cos \$12,000; Gaetano Ambriola, 2560 Hughes av, ow'r and ar't.—618.

Teller av, n w cor 167th st, 1-sty frame portable church, 25x70; cost, \$3,000; Claremont Park Church, John C Whiting, 1310 Teller av, trustee; ar'ts, Ducker Co, 277 Broadway.—619.

Turnbull av, s s, 450 e Havemeyer av, 2-sty frame dwelling, 22x 45; cost, \$4,000; Bernhard Boosmann, on premises; ar't, Howard Conrad, 840 Olmstead av.—623.

Conrad, 840 Olmstead av.—623.

Valentine av, e s, 103 n 198th st, two 2-sty and attic frame dwellings, peak and flat shingle and tin roofs, 21x56 each; total cost, \$12,000; Valentine Const Co, 1616 Crosby av; ar't, Jacob H Amsler, 1616 Crosby av.—622.

Westchester av, s s, 360 w Castle Hill av, 1-sty brk garage, 40x72; cost, \$1,800; J Gorse Simmons, M D, 2138 Westchester av; ar't, Otto C Krauss, 2318 Newbold av.—620.

West Forms road n s, 50 w Silvan et 1 sty frame store and office

West Farms road, n s, 50 w Silver st, 1-sty frame store and office, 15.6x35; cost, \$500; L E Field, 24 North 10th av, Mt Vernon; ar't, Jas H Perry, 2 Park av, Mt Vernon.—624.

ALTERATIONS.

BOROUGH OF MANHATTAN.

Broome st, No 186, 1-sty brk and stone side extension, 6x25 to 5-sty brk and stone store and tenement; cost, \$500; Abraham Rudinsky, 186 Broome st; ar't, Samuel Sass, 23 Park row.—1700. Clinton st, No 99, new beams, wall, to 5-sty brk and stone tenement; cost, \$800; E' Haal, 86 Bowery; ar't, O Reissmann, 30 1st st.—1722.

Elizabeth st, No 190, toilets, partitions, windows, to 5-sty brk and stone tenement; cost, \$1,200; R Russo, 52 Spring st; ar't, O Reissmann, 30 1st st.—1723.

Fulton st, No 238, show windows, to 4-sty brk and stone store and loft bldg; cost, \$1,000; John Shanley, 238 Fulton st; ar't, Fred Ebeling, 420 E 9th st.—1686.

Greenwich st, No 89, alter walls to 4-sty brk and stone store and shops; cost, \$400; Interborough Rapid Transit Co, 21 Park row; ar't, Geo H Pegram, 21 Park row.—1701.

Greenwich st, No 340, alter floor beams, girders, columns, stairs, to 4-sty brk and stone warehouse; cost, \$3,500; Solomon L Reiss, 340 Greenwich st; ar't, J H Friedlander, 244 5th av.—1712.

Hester st, No 217, partitions, skylights, windows, fire escapes, to two 5-sty brk and stone stores and tenements; cost, \$1,000; Diedrich Knabe, 863 West End av; ar't, Chas M Straub, 147 4th av.—1720. 1720.

Houston st, No 125 E, piers, bake ovens to 6-sty brk and stone tenement; cost, \$4,000; R Schminke, 156 E 94th st; ar't, O Reissmann, 30 1st st.—1702.

Houston st, No 477 E, alter walls to 3-sty brk and stone tenement and store; cost, \$2,000; David Levine, 186 E 111th st; ar't, Young & Gronenberg, 67 W 36th st.—1688.

Leonard st, Nos 75 and 77, stairs, elevator shaft to 5-sty brk and stone store and loft; cost, \$300; Simon Liebowitz, 75 Leonard st; ar'ts, Bernstein & Bernstein, 24 E 23d st.—1703.

Stone st, No 6, partitions, skylights, walls to 5-sty brk and stone store and tenement; cost, \$1,200; The Misses K A and E Murphy, 226 Clinton st, Brooklyn; ar't, Thomas H Styles, 449 W 28th st.—1698. st; ar'ts, Bernstein & Bernstein, 24 E 23d st.—103.

Stone and tenement; cost, \$1,200; The Misses K A and E Murphy, 226 Clinton st, Brooklyn; ar't, Thomas H Styles, 449 W 28th st.—1698.

Spring st, No 193, brick piers, to 3-sty brk and stone dwelling and store; cost, \$100; Antonio Sozio, 193 Spring st; ar't, Frederick Musty, 177 Cherry st.—1711.

Walker st, Nos 17-19, columns, girders, front wall, to 6-sty brk and stone store and loft; cost, \$3,000; Shortland Estate, 110 Wall st; ar't, E Rossbach, 2010 Broadway.—1704.

William st, Nos 163 to 167, toilets, partitions, show windows to 10-sty brk and stone store and loft building; cost, \$500; Robert R Reed, 55 Liberty st; ar't, Louis Falk, 2985 3d av.—1690.

11th st, No 213 E, partitions, windows to 5-sty brk and stone tenement; cost, \$750; John Maisenholder, 1648 2d av; ar't, Frank Hausle, 81 E 125th st.—1696.

18th st, No 123 E, partitions, show windows, to 3-sty and basement brk and stone dwelling; cost, \$2,000; J & J W Stoltz's, 123 E 18th st; ar't, Chas J Petterson, 270 Rider av.—1718.

19th st, No 122 E, 2-sty brk and stone rear extension, 25x28.11, mezzanine floor, windows to 4-sty brk and stone store and dwelling; cost, \$10,000; Mrs O B Halsey, 1048 5th av; ar'ts, Thain & Thain, 4 E 42d st.—1691.

21st st, Nos 30 and 32 E, partitions, windows to 8-sty brk and stone store and loft; cost, \$2,000; Estate of Benedict Fischer, Broadway and 17th st; ar't, Louis C Mauer, 22 E 21st st.—1694.

41st st, No 341 E, cut doors, windows, skylight, to 5-sty brk and stone tenement; cost, \$1,500; M Rullmann, Valley Stream, L 1; ar't, Geo Haug, 183 Liberty st.—1716.

54th st, No 233 E, partitions, windows to 4-sty brk and stone tenement; cost, \$1,500; Sarah J Brooks, 345 W 56th st; ar't, Thomas W Lamb, 224 5th av.—1693.

55th st, No 37 W, new front, to 5-sty brk and stone residence; cost, \$1,500; Chas A Miller, Groton, Conn; ar't, Geo H Griebel, 2255 Broadway.—1710.

77th st, Nos 408 and 412 E, add 1-sty stalls to 2 and 4-sty brk and stone stable and tenement; cost, \$5,000;

E Bernheimer, 2566 Broadway; ar't, David E Klein, 2371 8th av.—1689.

129th st, No 601 W, erect sign to 2-sty frame office and yard; cost, \$300; William Brennan, 601 W 129th st; ar't, Walter A Faxon, 53 E 124th st.—1697.

133d st, No 64 W, new chimneys, toilets, partitions, windows, tank, to 5-sty brk and stone tenement; cost, \$3,000; M J Klein, 35 Nassau st; ar't, O Reissmann, 30 1st st.—1708.

Av B, No 25, 1-sty brk and stone rear extension, 27x17.10, partitions, columns, stairs to 4-sty brk and stone store and tenement; cost, \$5,000; Adolf Blum, 25 Av B; ar't, Henry J Klein, 505 E 15th st.—1685.

Broadway, No 1544, partitions, alter walls, piers to 4-sty brk and stone store and hotel; cost, \$5,000; S E Appleby, 55 Liberty st; ar't, Louis Muller, 500 5th av.—1682.

Madison av, No 305, 1-sty and basement brk and stone rear and front extension, 23.6x34.8 to 4-sty brk and stone store and offices; cost, \$6,000; The Erkins Co, 4 W 15th st; ar't, S Hope Johnstone, 4 W 15th st.—1695.

West End av, No 273, 1-sty brk and stone rear extension, 10x12, cut walls, to 4-sty brk and stone dwelling; cost, \$350; Mrs Louis C Monquire, on premises; ar't, J Acker Hays, 2010 Broadway.—1713.

1st av, No 1215, 1-sty brk and stone rear extension, 6.5x9, partition new plumbing to 4-sty brk and stone store and tenement:

1713.

1st av, No 1215, 1-sty brk and stone rear extension, 6.5x9, partition, new plumbing, to 4-sty brk and stone store and tenement; cost, \$1,500; Henry Stieve, 408 E 68th st; ar't, E Wilbur, 120 Liberty st.—1707.

2d av, No 1519, alter store fronts, to two 2-sty brk amusement place; cost \$185; F & M Schaefer Brewing Co, 52d st and Park av; ar't, John Brandt, 1511 3d av.—1715.

3d av, n w cor 26th st, storm porches, to 5-sty brk and stone store and tenement; cost, \$500; Winthrop Chandler, 155 E 26th st; ar't, Louis Falk, 2785 3d av.—1721.

3d av, No 364, partitions, iron beams, to 6-sty brk and stone tenement and stores; cost, \$3,000; David Bick, 360 3d av; ar't, Chas Gens, Jr, 165 E 88th st.—1719.

4th av, No 386, partitions, windows, stairs to 4-sty hotel; cost, \$1,500; T Kick, 142 W 92d st; ar'ts, J Kastner & Dell, 1133 Broadway.—1684.

5th av, No 677, alter extensions, to 5-sty brk and stone residence; cost, \$2,000; Cornelius Vanderbilt, 677 5th av; ar'ts, Delano & Aldrich, 4 E 39th st.—1714.

5th av, s e cor 55th st, partitions, marble floors, plastering, to —sty brk and stone hotel; cost, \$10,000; R M Haan, premises, agent for ow'r; ar't & b'r, James McWalters, 2434 Broadway.—1717.

6th av, No 491½, erect sign to 3-sty brk and stone store; cost, \$30; A Silkowitz, on premises; ar't, Walter A Faxon, 53 E 124th st.—1683.

th av, No 303, windows, toilets, to 5-sty brk and stone store and tenement; cost, \$500; Richard I Donovan, 308 W 21st st; ar't, Thomas S Godwin, 302 14th st, Brooklyn.—1705.

1th av, No 562, partitions, windows, skylights, to 4-sty brk and stone store and tenement; cost, \$350; Mrs Margaret Knight, 562 11th av; ar't, Wm G Clark, 438 W 40th st.—1709.

134th st, s e cor Willis av, new show windows, new columns, new girders to 6-sty brk hotel; cost, \$200; W G Pigueron, 32 Union sq; ar't, R E Moss, 12 Elm st.—431.

177th st, n w cor Cedar av, new beams, columns, bath rooms, new partitions, &c, to 2-sty brk store and dwelling; cost, \$4,000; Patrick J Murphy, on premises; ar't, Walter H C Hornum, 360 W 125th st.—436.

rick J Murphy, on premises; ar't, Walter H C Hornum, 360 W 125th st.—436.
231st st, n s, 170 e Barnes av, 1-sty frame extension, 15x11, to 1½-sty frame dwelling; cost, \$150; Jos Wadick, on premises; ar't, J Davidson, 238 E 227th st.—443.

Brook av, w s, 206.0½ s 165th st, build 5-stys on 1sty brk stable, 56x94; cost, \$40,000; Sheffield Farms, Slawson Decker Co, 524 W 57th st; ar't, Frank A Rooke, 489 5th av.—445.

City Island av, e s, 125 s Cross st, move two 3-sty frame stores and dwellings; total cost, \$1,100; Maria L Seifert, 678 King av, C I; ar't, K F J Seifert, 288 E 157th st.—438.

City Island av, No 557, 2-sty frame extension, 47.2x8.9 and 17, new partitions to 1 and 2-sty frame hotel and pavilion; cost, \$2,500; John P Kelly, 558 C I av; ar't, Walter H C Hornum, 360 W 125th st.—439.

st.—439.

City Island av, w s, 30.8 n Canal st, new front, new show windows to 2-sty frame store and hall; cost, \$800; Ophelia Vail, 11 Orchard st; ar't, Chas S Clark, 445 Tremont av.—432.

Kingsbridge road, w s, 75 s Valentine av, new partitions, to 2-sty frame dwelling; cost, \$500; Samuel Hyman, 955 Park av; ar't, Harry Zlot, 1400 5th av.—442.

Morris av, e s, 121.2 n 139th st, 1-sty frame extension, 25.6x15, to 1-sty frame store; cost, \$500; J Reeber & Sons, on premises; ar't, M J Garvin, 3307 3d av.—441.

Southern Boulevard, w s, 127 n Freeman st, new exits, seats and new partitions, &c, to 1-sty brk amusement hall; cost, \$700; Henry Morgenthau, 165 Broadway; ar't, Lorenz F J Weiher, 103 E 125th st.—435.

Henry Morgenthau, 165 Broadway; ar't, Lorenz F J Weiher, 103 E 125th st.—435.

Willis av, No 371, now entrance, new ceiling and seats, &c, to 2-sty brk amusered hall; cost, \$1,000; Mrs Pauline Levy, 2714 3d av; ar't, Jos P Harris, on premises.—437.

White Plains av; n w cor Olin av, move 3-sty brk and frame store and dwelling; cost, \$2,500; Mrs Ida B McTurck, Williamsbridge; ar't, Chester C Zarian, 176 Archer av, Mt Vernon.—444.

3d av, No 2587, new store front, to 1-sty frame store; cost, \$500; J Reeber & Sons, 139th st, and Morris av; ar't, M J Garvin, 3307 3d av.—440.

Baychester R R yard, 220 n Main st, move 1-sty frame station; cost, \$200; N Y, N H & H R R Co, New Rochelle; ar't, P B Spencer, New Rochelle.—434.

N Y, N H & H R R tracks, 180 w White Plains av, move 2-sty frame signal tower; cost, \$200; N Y, N H & H R R Co, New Rochelle; ar't, P B Spencer, New Rochelle.—433.

THE PROFIT IN CEMENT.

T IS commonly believed that the profits in the Portland cement industry are very large, and this belief is energetically fostered by many so-called "cement engineers" and "cement experts," as well as by some promoters. The actual fact seems to be, on the contrary, that there is not now, and has not been for a number of years, a large margin of profit for most of the plants now engaged in Portland cement manufacture.

According to some authorities, the cost of manufacture in the Lehigh district (which embraces also Warren County, N. J.), in a 2,000-barrel-a-day plant, ranges from 77% cents to 68 cents per barrel, exclusive of the package, according to the size and number of kilns, while in the smaller plants the cost is somewhat higher. These published figures are somewhat lower than similar data obtained directly from cement manufacturers of New Jersey and Pennsylvania, and on file in the office of the State Geologist of New Jersey. These show costs between 80 and 90 cents per barrel when all fixed charges, such as interest on the plant, depreciation, etc., has been allowed for, but they do not include the cost of the package in which the cement is

Prof. Henry B. Kummel, State Geologist of New Jersey, in his annual report for 1907, takes occasion to express regret that the magnitude and success of the Portland cement industry have been seized upon by irresponsible parties as affording op-portunity to exploit cement manufacturing enterprises impossible of achievement which, he says, has a tendency to retard the wholesome and legitimate development of the industry:

While there is no disputing the extraordinary growth of the Portland cement business during the past few years, and while it is to be presumed that it has been conducted on the whole at a profit, nevertheless prospective investors should bear in mind some facts which are well recognized by all authorities in this industry. In the first place, in spite of the enormous expansion in the use of Portland cement and the consumption in this country of 48.154,-802 barrels in 1906, it is a fact well known to all cement men that the total capacity of the present Portland cement plants is in excess of the present output. This being the case, there is small chance of a new company in the Lehigh region reaching the dividend-paying stage, except after a long and hard struggle against

the competition of existing plants, the product of which is well

the competition of existing plants, the product of which is well known in the market.

Furthermore, the initial investment required to start a Portland cement plant on a basis to compete profitably with established concerns is large. Apart from the cost of the land, a 2,000-barrel-perday plant would cost not less than \$500,000 at the lowest estimate, and some reliable authorities set the figure at \$700,000 or more. But the amount of capital required to start properly a cement proposition is much more than the cost of land and plant. A large reserve working capital is necessary for several reasons. No new cement plant can be expected to produce normal cement at normal cost until after a profitless and expensive period of experimentation. Even after a plant is working normally, ready sales of its product cannot be expected, owing to the well-founded prejudice in favor of old-established brands whose worth has been proved by long experience. Against this prejudice headway can be made but slowly, and then only by superior quality or lower prices until the reliability of the new product is well established. Moreover, many of the running expenses of the plant must be paid in cash, while cement is sold on comparatively long time. Including the cost of land, the capital needed to start successfully a 2,000-barrel plant will probably be not far from \$1,000,000.

The growth of the Portland cement industry has been ex-

The growth of the Portland cement industry has been exceedingly rapid in the Lehigh region, the production increasing from 201,000 bbls. in 1890 to 22,784,613 in 1907, and the number of mills from five to twenty. The Hudson River valley is also a large producer of cement. Two new Portland works are being erected in the vicinity of Catskill.

MR. HARRIMAN AND ORANGE COUNTY.

Mr. Harriman is close to nature's heart in a cabin deep in the forests of Oregon. From the Reart of Wall street to the heart of nature is a wide transition. 'Tis said Mr. Harriman is putting himself as far as possible out of touch with affairs in the East in order to give his whole time to the incubation of gigantic railroad plans. Perfect peace and quietness are the greatest luxuries in the lives of men of intense activities. They will go anywhere and pay the highest price for them. But Mr. Harriman will not be completely isolated. See those slender electric wires trailing after him?

Since he has lived at Arden Mr. Harriman has become thoroughly identified with Orange County, much more so than has Mr. Morgan, who has a country-seat at Highland Falls. For one thing, he has built a number of good roads through the county (under contract with the State), which are having the effect of popularizing the Ramapo and Short Cut valleys with New York families of good position. Consequently, there is considerable building through that section, and land values are rising.

Then, Mr. Harriman likes a good Hambletonian-trotter or pacer. Orange County is the place where good horses originated, and the American trotter is about as satisfactory for a gentleman's use as any horse the world knows of. One can drive a trotting or pacing pair and still be a gentleman-in fact, more so. Mr. Harriman has many personal friends in the county, and is much with them on his days off. He likes them because they ask no favors and want no tips on the stock market

It is being said that Orange County will in all probability receive a large overflow from New York during the next decade. Not a summer boarding-house growth, but the spread of the Tuxedo idea of country life and house construction through all that region. It is just beyond the usual commuting distances, which favors a certain exclusiveness that is attractive to the

THE COMBINATION OF LUMBERMEN.

Press dispatches from St. Louis report the adoption by some of the leading lumbermen of the South and Middle West of plans for the formation of a huge lumber combination with \$300,000,000 capital. The chief purpose of this organization will be to regulate and control the cutting of lumber so as to avoid irregularities in supply, and to prevent the wasting of the country's timber resources.

F. E. Weyerhauser, of St. Paul, son of the multi-millionaire lumberman, was appointed chairman of the permanent organization committee which is to work out the details of organizathe financing and the drafting of a charter. organization committee is expected to raise \$25,000,000 from the proprietary interests to consumate the merger. A prominent lumberman is quoted as follows on the project:

"My understanding is that the plan was taken up with the tacit approval and co-operation of the United States Bureau of Forestry and the Commissioner of Corporations. The idea is to save the forests from useless destruction. At present a large part of the timber lands are held on leases. The holders, of course, clear off everything they can during the time of their leases, regardless of the future. It is proposed by the merger of large interests to raise enough capital to purchase the lands in fee simple and, by an agreement to leave a certain number of trees of a certain size on every acre cut to perpetuate the forests.

"The Government forestry experts encourage the scheme, as it is directly in line with the policy of the Administration. Most of the lands affected are located in Louisiana, Alabama, Mississippi and Arkansas. The members of the combination are to pay a certain amount-\$1 per 100 feet of the annual product, I believe-toward protection from forest fires, etc."

REAL ESTATE

1907.



REAL ESTATE AND BUILDING STATISTICS.

The following are the comparative tables of Manhattan, The Bronx and Brooklyn of the Conveyances, Mortgages and Projected Buildings for the corresponding weeks 1907 and 1908.

MANHATTAN AND THE BRONX.

CONV	EYANCES.
1908.	

1908.		1907.
Aug. 14 to 20, inc.	Aug. 1	6 to 22, inc.
Total No. for Manhattan 151	Total No. for Manhattan	
No. with consideration 7	No. with consideration	
Amount involved\$340,950	Amount involved	
Number nominal	Number nominal	
Number nominar	I, tilli boz ziozizia	
	1908.	1907.
Total No. Manhattan, Jan. 1 to date	6,341	9,119
No. with consideration, Manhattan, Jan.	0,041	0,110
	440	613
1 to date		\$32,030,786
Total Amt. Manhattan, Jan. 1 to date	\$22,002,001	\$62,000,100
1908.		1907.
Aug. 14 to 20, inc.	Aug. 1	16 to 22, inc.
Total No. for the Bronx 99		
No. with consideration 4	No. with consideration	
Amount involved \$23,450	Amount involved	
Number nominal 95	Number nominal	
Number nominar	Number nominari	
	1908.	1907.
Total No., The Bronx, Jan. 1 to date	5.112	6,443
Total Amt., The Bronx, Jan. 1 to date	\$3,741,920	\$5,465,830
Total No. Manhattan and The	ψ0,141,020	ψυ,150,000
	11 459	15,562
Bronx, Jan. 1 to date	11,453	10,000
Total Amt. Manhattan and The	606 574 907 S	27.496.116

Assesse	d V	alue	Manhattan.	
STATE OF THE PARTY			1908.	1907.
			Aug. 14 to 20, inc. Au	ig. 16 to 22, inc.
Total No., with consideration.			7	10
Amount involved			\$340,950	\$545,400
Assessed value			\$128,000	\$293,500
Total No., Nominal			144	124
Assessed value			\$8,763,200	\$5,000,000
Total No. with consid., from Ja			440	613
Amount involved	"	"	\$22,832,807	\$32,080,786
Assessed value	**	"	\$17,895,600	\$21,193,600
Total No. Nominal	"	"	4,901	8,506
Assessed value	"	**	\$300,540,400	\$247,231,500

MORTGAGES. 1908.

	Ang 14 to	20 ina	Ang 18	to 22, inc.
			Manhatta	
	Manhattan.	Bronx.		
Total number	83	112	14	
Amount involved	\$1,792,841	\$1,016.675	\$2,174,36	
No. at 6%	39	51	•	
Amount involved	\$398,341	\$226,350	\$505,58	0 \$230,419
No. at 5%%				
Amount involved				
No. at 51/2%	8	82	1	1 12
Amount involved	\$156,000	\$351,850	\$446,70	00 \$76,850
No. at 51/4%				
Amount involved				
No. at 5 1 %				
Amount involved				
No. at 5%	19	. 9		9 35
Amount involved	\$743,000	\$60,725	\$444,07	
	\$143,000	\$00,120	\$111,0	6 2
No. at 41/2%	\$98,000		\$283,50	
Amount involved		••••••	the same of the sa	
No. at 42%				
Amount involved				
No. at 4%			200.00	2
Amount involved			\$20,30	
No. at 31/2%		1		***
Amount involved		\$300,000		
No. at 2%				
Amount involved				
No. without interest	14	19		9 14
Amount involved	\$397,500	\$77,750	\$474,20	0 \$99,580
No. above to Bank, Trus	t			
and Insurance Companies	25	12	2	26 11
Amount involved	\$1,115,500	\$131,750	\$968,0	00 \$125,425
			1908.	1907.
Matal No Markattan Inn	1 to date		5.694	9.889
Total No., Manhattan, Jan.		#100 O		
Total Amt., Manhattan, Jan		\$193,2		\$246,138,407
Total No., The Bronx, Jan.		CO.4 F	4,679	5,886
Total Amt., The Bronx, Jan		\$24,5	13,787	\$58,164,407
Total No., Manhatta		ST. THE SOUR		15 ***
Bronx, Jan. 1 to d		1	0,373	15,775
Total Amt. Manhatta				004 000 614
Bronx, Jan. 1 to d	ate	\$217,74	0,943 \$	304,302,814

PROJECTED B	UILDINGS.	
	1908.	1907.
Total No. New Buildings:	Aug. 15 to 21, inc. A	ug. 17 to 23, inc.
Manhattan	14	16
The Bronx	84	40
Grand total	48	56
Total Amt. New Buildings:		
Manhattan	\$1,083,000	\$2,289,200
The Bronx	418,300	204,100
Grand total	\$1,501,300	\$2,493,300
Total Amt. Alterations:		
Manhattan	\$87,115	\$109,010
The Bronx	54,850	6,000
Grand total	\$141,965	\$115,010
Total No. of New Buildings:		
Manhattan, Jan. 1 to date	376	758
The Bronx, Jan. 1 to date	1,061	1,447
Mnhtn-Bronx, Jan. 1 to date	1,437	2,205
Total Amt. New Buildings:		
Manhattan, Jan. 1 to date	\$52,879,146	\$59,814,060
The Bronx, Jan. 1 to date	9,700,275	15,111,750
Muhtn-Bronx, Jan. 1 to date	\$62,579,421	\$74,925,810
Total Amt. Alterations:		
Muhtu-Bronx, Jan. 1 to date	\$8,734,966	\$13,874,133

BROOKLYN.

CONVEYA	NCES.	
	1908.	1907.
	Aug. 13 to 19, inc. A	ug. 15 to 21. inc.
Total number	463	562
No. with consideration	13	80
Amount involved	\$69,015	\$804,850
Number nominal	450	582
Total number of conveyances.		
Jan. 1 to date	17,239	23,080
Total amount of conveyances,		20,000
Jan. 1 to date	\$13,007,990	\$14,819,704
Bulli I to distantini ili		022,020,002
MORTGAG	ES.	
	378	F90
Total number	\$1,250,058	580
Amount involved	212	\$2,405,508
No. at 6%		323
Amount involved	\$499,997	\$1,065,813
No. at 53/2%		
Amount involved		*******
No. at 51/2%	133	204
Amount involved	\$638,260	\$1,108,550
No.at 51/4%	******	*******
Amount involved		
No. at 5%	18	34
Amount involved	\$64,217	\$155,800
No. at 4½%	*******	1
Amount involved		\$25,000
No. at 41/4%	•••••	*******
Amount involved	•••••	•••••
No. at 4%		*******
Amount involved		*******
No. at 3%		
Amount involved	••••••	*******
No. without interest	15	18
Amount involved	\$47,584	\$50,345
Total number of Mortgages,		
Jan. 1 to date	16,842	23,653
Total amount of Mortgages,		
Jan. 1 to date	\$57,946,754	\$104,403,177

PROJECTED B	UILDINGS.	
No. of New Buildings	86	141
Estimated cost	\$583,565	\$1,337,282
Total Amount of Alterations	\$30,565	\$150,452
Total No. of New Buildings,		
Jan. 1 to date	3,012	6,377
Total Amt. of New Buildings,		
Jan. 1 to date	\$18,455,773	\$48,439,583
Total Amount of Alterations,		
Jan. 1 to date	\$3,867,642	\$4,563,854

THE WEEK.

THE real estate market is in the midst of a midsummer calm. Nearly every one who can afford to leave the city has done so, and those who have elected to remain, are not taking on any more new contracts than is absolutely necessary. This is, in a great measure, to be expected, but coming at it does after a long and tiresome winter, is a great hardship to brokers in general.

Another reason that the present inactivity is more keenly felt is due to the fact that during the recent boom many new real estate firms were started, and when the active trading stopped, these new comers were left high and dry, without any regular clientele to fall back upon. As a general thing, these firms have dissolved and the older and more stable ones are left to advise their customers where investments should be made.

While the market is on the mend, nevertheless it will be some months before it is normal. The number of sales reported compare favorably with the corresponding period last year. One of the bright spots in real estate is the freedom of money. There is plenty of this commodity to be invested in good property, but bargains are hard to obtain. A number of sales of interest were brought to a successful conclusion, notably that of the 4-sty brownstone dwelling No. 12 West 51st st. The house was owned by Commodore E. C. Benedict and was at one time the abode of the late Grover Cleveland. All the property on this side of the street from Nos. 2 to 62 inclusive is Columbia College leasehold, and is tenanted by families well known to New Yorkers. On the other side of the street the titles are held in fee by their respective owners, including such well-known names as William P. Clyde, William Woodward, Thomas C. Sloane, Joseph C. Hoagland, Henry Clews, who purchased last November, James A. Campbell and many others.

Mrs. Althea S. Rudd Ward sold Nos. 2781 and 2787 Broadway, two 5-sty flats facing Schuyler sq, 51.10x100. Some properties were taken in exchange. The block front on the west side of Broadway, between 163d and 164th sts, 200x125, a total of eight lots, was also disposed of to Henry T. Bulman, who is a large owner of realty in the Washington Heights section. He is the owner of record of a 6-sty apartment house Nos. 432 and 434 West 163d st, 50x112, built to a depth of 100 feet, and the 6-sty apartment No. 503 West 164th st, 50x99.11, built 87 feet deep, as well as other properties. The Bronx came

in for its share of the property reported sold, and taken all in all, the sales were fairly well distributed, everything taken into account.

Mr. Irving Ruland, of Ruland & Whiting, real estate brokers of No. 5 Beekman st, when asked by a representative of the Record and Guide for an expression of opinion regarding the present condition of the market said: "At present the market is quiet. Yes, that is the word, quiet. The summer months always mean a dull period in this part of town. I think that there will be considerable business consummated this fall, but I am afraid that nothing of great account will transpire until next spring. The renting of old buildings has been particularly good. The only vacancies of considerable number are in the new office buildings. It will take some little time before that situation will straighten itself out, but in the course of time everything will right itself. I for one am a firm believer in Manhattan realty, especially downtown property."

The Albany Savings Bank loaned to Church & Warren, a corporation, \$190,000 on the property No. 32 Warren st, located on the northeast corner of Church st. The size of the plot is 24.8x175.10, and goes to the south side af Chambers st. This mortgage runs for five years and earns interest at five per cent. The United States Trust Co., of New York, as executor of John H. Spellman, borrowed from the same institution \$100,000 for a like period at the same rate of interest on the property No. 109 to 113 Park row, on the southeast corner of Duane st. 70.10x irregular.

Mr. Payne, of A. W. McLaughlin & Co., mortgage brokers, No. 128 Broadway, in speaking of the present condition of the money market, said: "Conditions have certainly changed since last fall. At that time there were plenty of good applications, and a scarcity of money, while now that commodity is exceedingly easy and applications for good loans hard to get. I look for an active fall in this branch of the real estate business. There may be a temporary tightening for a few weeks, due somewhat to the large amount of money leaving town, for one reason or another, but in the course of a comparatively short time this money will find its way back to the city."

THE AUCTION MARKET

THE market showed no improvement whatever over that of the last few months. The results are not any more encouraging than for some time past, and owners are holding back offering their realty as long as possible in the hope that conditions will better themselves. There were no voluntary sales advertised for the week, and the large majority of the parcels went either to the plaintiff or were adjourned to a future date, when it is hoped that there will be a better market.

There were only two parcels advertised for sale in the auction mart this week that attracted attention. The first one of these was the Hotel Gallatin, a 9-sty apartment hotel, located at Nos. 70 and 72 West 46th st, 75 feet east of 6th av, occupying a plot 45x100.5. The amount due on the judgment was \$233,966.65; taxes and other charges aggregating about \$324.10. This property was bid in by the plaintiff for \$235,000. This building is located in the heart of the apartment hotel district and is built to a depth of 95 feet. On the east is located the Holland, a 7-sty structure on a plot with a frontage of 33.4 feet and built to a depth of 93 feet. Across the street are several private dwellings, and the Patterson apartment, a 13-sty structure running through to 47th st. The other parcel of interest embraced Nos. 206, 208, 210 and 212 West 46th st. These are four 5-sty stone front dwellings which were advertised for sale separately. These properties were adjourned until August 27, when they will be offered at public sale.

There were 19 parcels advertised for the first four days of the week. Of this number only two found its way into outside hands, when P. H. Delehanty bought for \$24,700 No. 1000 Summit av, located on the northeast corner of 164th st, a 6-sty flat and store on a lot 25x100. The amount due was \$17,565.45; taxes and other charges aggregating \$198.59. The second one was No. 1338 Boone av, located 195.6 feet south of West Farms road, 25x100, a 2-sty dwelling. The plaintiff in the action bid \$6,800, but a syndicate was quickly formed and on a bid of \$25 more received the property.

Mr. Remsen Johnson, of the firm of Jere Johnson, Jr., Co., referring to the suburban auction market, said: "The sale of out-of-town property has not been as good this summer as in years past. There are, in my opinion, two reasons for this: (1) property owners desire too much money for their realty, and are not willing in most cases to offer their holdings absolutely, and (2) the demand is not as great as it was. Taking the first reason, we do not care to undertake sales that are not absolute, and as to the other reason it is simply a temporary condition, which will have straightened itself out by next spring at the latest. There is at present a demand for property centrally located, say for example good shore property, which is readily accessible, but the bidders must be made to realize that it is a sale, and that a reasonable amount must be left on mortgage, or they will quickly withdraw into their The proverbial clam is not as quiet as a frightened bidder for real estate at auction. The auctioneer must absolutely have his confidence."

GROWTH IN THE BRONX.

By J. CLARENCE DAVIES.

Conditions in the Bronx have gradually improved since last spring. During January, February and March, following the panic, the money stringency was probably felt more severely in the Bronx



J. CLARENCE DAVIES. .

severely in the Bronx than in any other section of the city, as the institutions effected were more largely in that section.

This tied up a large amount of money usually used in estate speculation. However, in spite of this fact, the large auction sales during the months of May and June, in which two thousand lots in the Bronx were disposed of at fair prices, considering prevailing conditions, shows the absolute confidence the general public has in this section.

These sales not alone brought hundreds of new purchasers of real estate into the borough, but inspired a feeling of confidence in Bronx real estate, and in its future growth, that since that time the market has shown a much greater degree of activity.

The lenders of money commenced to seek for Bronx mortgages, builders were more willing to trade for lots, which were held at steady figures, and there has been a marked increase in sales and exchanges made. This will undoubtedly continue and increase as the conditions grow better throughout the country and as people gain more confidence.

The rental conditions have been good this summer, and while just as the present time there is the usual dullness of this period, the fall outlook is better than usual, as cheaper rentals offered in this section are going to attract those who desire to economize after the slack business of the past nine months.

I can see no reason why Bronx real estate should not go ahead with a steady growth in the future as in the past, and when the lines of transit projected are built, the growth for the coming year will be equal to that phenomenal growth in population and values attained during the past ten years, in spite of the competition of all other sections, as has been frequently shown, as its natural advantages are such that no other section of the city can compare with it.

LAWYERS' TITLE INSURANCE CO. MOVES.

The Lawyers' Title Insurance Co. moved into its new office building at No. 160 Broadway at the close of their 21st year in business. This company was organized in 1887, with a capital of \$500,000, which has been increased, until to-day the capitalization is \$4,000,000, and the last statement showed a surplus of \$5,500,000.

This company was formed with the express purpose of catering to the lawyers, and for several years it confined its efforts to this field, but as time went on operations were gradually extended, until at present it is meeting the public demand at all points as a title and trust company. It is stated that its losses during the entire 21 years that it has been doing business have been only \$181,451.75.

DECIDE TO MOVE.

The officers of the company some time ago came to the conclusion that Broadway was the proper place for their business to locate, and so with this end in view the property on which their new home has been built was acquired, and the present structure constructed. While this building does not compare in height with the modern skyscrapers, still every convenience has been installed, in the sixteen stories of the new building, to facilitate the operation of their business.

The first floor of the new structure is devoted to the offices of the president, vice-president, comptroller, treasurer, and secretary, trust and bank department, assistant secretary, application department, and bureau of information; the first mezzanine to the policy department; the second floor will be occupied entirely by the closing department, second mezzanine to the cashier department; third and fourth floors, search department and bureau of tax registration; fifth floor, examination division and company's attorneys; sixth floor, law, general division and library; seventh floor, insurance division; sixteenth floor, survey department and meeting room for the board of directors; the intervening floors between the seventh and sixteenth are for rental.

LAW DEPARTMENT

ASSESSMENTS.

To the Editor of the Record and Guide:

Can the city compel the payment of an assessment when the improvement is not completed?

I have an assessment to pay for an avenue in the Bronx with the usual penalty of 7 per cent. added if not paid within a certain period, but work is still being done on it and the avenue is not open for traffic from beginning to end.

PROPERTY OWNER.

Answer.—If the assessment is for the taking of the land in the avenue it is not necessary to build any part of the avenue in order to lay an assessment upon property within the area of the assessment; but if the assessment is for grading, regulating or paving the avenue it should be provided before the assessment is laid; and as the officer, or head of the board or department charged with the execution of the work, is required to certify the total amount of all expenses actually incurred on account thereof, it would seem to be impossible to so certify until all the work is done. (See section 946 of charter of the City of New York.)—Editor.

POSSESSION.

To the Editor of the Record and Guide:

Will you be kind enough to give an opinion on the following dispute:

A contends that if for any reason the owner is dissatisfied with a builder during the construction of a new building, the owner, of course, leaving himself liable for any or all meritorious claims which may be presented against him, can give the contractor three days' notice or not at his option, and remove the builder from the premises immediately, if necessary calling in the police to effect his purpose. Also contends that the builder can only receive redress in court.

B contends that the builder owns the building in its entirety if it is a new one, and that the owner cannot remove him from the premises until whatever claims the builder may have against him are satisfied; furthermore, that the builder can complete the work and if not paid at completion, hold the building and rent same if so disposed. B's intention of holding the building is to actually possess same, not to hold it by virtue of a lien.

Thanking you in advance for the courtesy this letter will receive, I am,

F. M.

Answer.—As stated many times previously in these columns, we know of no right in law for a contractor or person employed to do work on land to remain thereon after notice to quit from the lawful owner.

The contractor's remedy is a suit for damages, filing mechanic's lien or the like.

The building cannot be separated in theory from the land on which it is erected, and to attempt to hold and rent it against the will of the owner is preposterous.—Editor.

WEST SIDE RENTING CONDITIONS.

REAL ESTATE MEN IN THIS SECTION GIVE OPINIONS CONCERNING PRESENT DEMANDS AND OUTLOOK.

THIS is the time of year when the tenant who contemplates moving his residence must decide on a new dwelling or he will find that all the better houses have been snapped up and will be forced to take one of the left-overs. With this idea in mind the Record and Guide has canvassed the Middle West Side district to see what is available and also what the concensus of opinion is among the real estate men, who make this zone a specialty. They are unanimous on two points, viz., that a dearth of dwellings exists and that the owners are maintaining prices. The opinion was pretty freely expressed last fall that a sharp decline in rents this year, would be the result of the "panic," but these dire predictions have not materialized.

DEMAND EXTREMELY GOOD.

Mr. W. F. McClelland, of F. R. Wood & Co., said: "In looking over the situation, the demand for private houses is extremely good, especially for houses renting from \$1,200 to \$2,500, but over \$2,500 there seems to be a limited demand. The supply of houses this year is more liberal than in the past two or three seasons, but we have every reason to believe that they will be fully rented, except in cases where the owners are either too limited in amount of repairs that they will do, or are asking too much."

C. O. Farwell, representing George Schwegler, 2383 Broadway, said: "The renting condition in this neighborhood is very good. A rather unusual situation has presented itself this year. There is more demand for the higher priced apartments than for the cheaper grade. By that I mean that vacancies in apartments ranging from, say, \$1,200 to \$1,600 a year, are fewer in number than in the class of house that the rents range from \$30 to \$60. The number of dwellings for rent is small as compared to a few years ago. It was a common occurrence to have from 300 to 400 dwellings thrown on the market at one time for rent, while I

don't think there was a time this summer when more than about 75 houses were for let. I look to see very few vacancies after October 1st next."

TENANTS LOTH TO MOVE.

R. Telfair Smith, of Snowber & Co., 2214 Broadway, said: "I find that the inquiry for private dwellings and the better class of apartments is exceedingly good. A disposition has been manifested lately on the part of tenants to remain where they are. The fact of the matter is that it is almost impossible for them to better themselves at the same rent. The majority of those who move do so to reduce expenses, and when all is said and done very little is saved after the packing and moving expenses are paid, as well as putting the extra touches on the new apartment. There are not, in my opinion, as many private houses in the market this year as usual. This is one of the reasons that rentals are so well maintained. The owners of Broadway store property are getting very good prices, and there are only a few vacancies in our neighborhod. A number of shop keepers have moved over from Columbus av. In fact there are more vacancies in store property on that avenue at the present time than for some years past. Upper West End av conditions are prosperous. There has been a general raising of rents along that thoroughfare, but tenants are willing to pay the price and consequently vacancies are few and far between."

Charles S. Kohler, of Columbus av and 104th st, said: "In this locality there are comparatively no private dwellings to rent. Prices have been holding firm, and, in my opinion, will continue to do so. During the past 10 days we have had a large number of inquiries, but it is extremely difficult to find suitable houses. As to the renting of store property on Columbus av in this vicinity, I might say that there really is nothing to be had."

The following table will give an idea of what dwellings are on the market for rent as well as the price demanded. Of course all the houses for rent are not mentioned, but a fair idea of block values can be obtained by carefully going through the list.

LIST FOR YOUR CARD INDEX.

SHOWING WHAT CAN BE HAD ON THE MIDDLE WEST SIDE IN PRIVATE DWELLINGS AT MODERATE

	RENTAL.	
West	83d st, 16.8x100, 3-sty, 9 rooms, 1 bath	\$900.00
West	70th st, 15x100, 4-sty, 12 rooms, open plumbing	1,200.00
West	61st st. 16.8x100, 4-sty, 12 rooms, open plumbing	1,400.00
West	70th st. 15x100, 4-stv. 12 rooms	1,400.00
West	70th st, 20x50, 3-sty, 10 rooms, open plumbing	1,400.00
West	97th st, 16.8x100, 4-sty, 3 baths	1,400.00
West	97th st, 18x102.2, 3-sty brk. 84th st, 16.8x102, 3-sty, 9 rooms, 2 baths. 94th st, 17x102, 3-sty, stone.	1,500.00
West	84th st, 16.8x102, 3-sty, 9 rooms, 2 baths	1,500.00
West	79th at 10 9:100 2 att 0 manual	1,500.00
West	78th st, 16.8x102, 3-sty, 9 rooms	1,500.00
West	95th et 18v102.2, 5-sty, filgh stoop, 10 rooms	1,600.00 1,600.00
West	95th st, 18x102.2, 3-sty, high stoop, 10 rooms 97th st, 20x102.2, 3½-sty, 10 rooms, modern	1,600.00
West	80th st, 17x102.2, 4-sty, American basement, modern.	1,700.00
West	79th st, 16x102.2, 4½-sty American basement	1.800.00
West	End av, 16.8x100, 4½-sty Am. base., 12 r, 2 baths	1,800.00
West	79th st. 16.8x100, 4\(\frac{4}{3}\)-sty Am, base, 12 rooms, 2 baths	1,800.00
West	82d st, 18.6x100, 3-sty, 11 rooms	1,800.00
West	87th st, 20x100, 3-sty, 10 rooms, 2 baths	1,800.00
West	90th st. 18.9x100, 3\(\frac{1}{2}\)-stv. 12 rooms	1,800.00
West	91st st, 17x102, 4-sty, 12 rooms	1,900.00
West	End av, 20x100, 3-sty Amer. basement	1,920.00
	End av, 16.10x102, 4½-sty, American basement	2,000.00
	End av, 16x102.2, 4½-sty American basement	2,000.00
West	End av, 16.8x68, 4-sty, high stoop	2,000.00
West	78th st, 20x102.2, 3-sty, high stoop	2,000.00
West	85th st, 16.8x102.2, 4½-sty American basement	2,000.00
West	85th st, 20x100, 3-sty, high stoop, 2 baths	2,000.00
West	78th st 19x100 31%-sty 10 rooms 1 bath	2,000.00
West	78th st, 19x100, 3½-sty, 10 rooms, 1 bath End av, 22x43, 5-sty Amer. base, 2 baths	2,200.00
West	78th st, 16x100, 5-sty Amer. base., modern	2,200.00
West	93d st, 24x51, 5-sty Amer. base	2 200 00
West	84th st, 18x102, 3-sty, high stoop, 2 baths	2,300.00
West	End av, 20x100, 4-sty, high stoop, 2 baths	2,300.00
West	78th st, 18x102.2, 4-sty, 3 baths	2,300.00
	80th st, 20x102.2, 4-sty, high stoop	2,400.00
West	93d st, 19x100, 5-sty Amer. basement	2,400.00 2,500.00
West	86th st, 20x102.2, 4-sty, stone, high stoop	2,500.00
West	74th st 20v102 3-sty 10 rooms	2,500.00
West	79th st, 19x100, 3½-sty, 12 rooms, 2 baths	2,500.00
West	86th st 20x102.2, 4-sty open plumbing	2,600.00
West	86th st, 20x102.2, 4-sty, open plumbing	2,700.00
West	76th st, 20x100, 4-sty, 13 rooms, 2 baths	2,850.00
West	71st st, 18x102.2, 4-sty, stone, high stoop	3,000.00

DAVID H. SCULLY.

The well-known real estate broker, David H. Scully, died on last Wednesday after a lingering illness at his residence No. 13 East 124th st. Mr. Scully was 48 years old and was prominently identified with realty in the 125th st section for the past 18 years. Prior to that date he was connected with the Post-Office Department, from which he conceived the idea of writing the play "Special Delivery," in which he played the leading part.

Mr. Scully was a member of the Real Estate Board of Brokers. At the time of his death he was not only on the Ways and Means Committee, but also the Appraisal Committee. He was a member of the Sagamore and Cayuga clubs. The funeral will take place today at All Saints Church, Madison av and 129th st, at 10 o'clock.

PRIVATE SALES MARKET

SOUTH OF 59TH STREET.

Business Building Changes Ownership.

GREENWICH ST.—Charles F. De Casanova bought through Robert R. Rainey 186 Greenwich st, a business building, 21.10x24.2, adjoining the southwest cor of Fulton st. The owner of record is Henrietta Stein, who took title last April.

LEWIS ST.—S. B. Goodale & Son sold for Michael Coleman to the Marmack Construction Co. 48x114, with an L 25x50, at the northeast cor 5th and Lewis sts. The buyers will at once begin the construction of a 7-sty loft building on the site, to be completed Feb. 1. This property has been hold by the Coleman family for more than 60 years. On the northwest cor is a building under construction. On the east is a lumber yard running down to the water front.

WASHINGTON ST.—Joseph H. Day sold to Adam Cook's Sons 708 and 710 Washington st, a business building, 46x88x irregular, with 3,800 square feet of floor surface. The buildings are 3-stys high and 32 feet deep each. They are located 44.2 feet north of Perry st.

and 32 feet deep each. They are located 44.2 feet north of Perry st. 38TH ST.—Ehrick Parmly, of Oceanic, N. J., sold No. 13 West 38th st, a 4-sty stone front dwelling, 18.9x98.9. Adjoining on the west is a building under construction. The present seller bought this property in Oct. 1869 for \$14,450.

49TH ST.—The Norman Realty Co. sold for Martha Rambow 236 East 49th st, a 3-sty brk dwelling, 19x100, built to a depth of 48 feet, to Philip Reilly, who gave in payment 236 West 144th st, a 6-sty apartment

apartment.

Commodore Benedict Sells.

Commodore Benedict Sells.

51ST ST.—Taylor Brothers sold for Commodore E. C. Benedict to W. and M. T. Hall, 12 West 51st st, a 4-sty brown stone dwelling, 22x100.5. This house was the home of the late Grover Cleveland, who rented it from Mr. Benedict in April, 1892. Mr. Cleveland and Mr. Benedict, who lived in No. 10, adjoining, were great friends, and they took several extended trips on the yacht Oneida. Soon after leasing the house Mr. Cleveland and his family left the city for the summer and the following fall was elected President of the United States for the second time. After that he had but little use for the 51st st house, and divided his time pretty well between the White House and his home in Princeton, N. J. Andrew Carnegie lives across the street, which is within a short distance of the Vanderbilt houses. The house just sold is under Columbia leasehold that was recently renewed for 63 years. The present purchasers are going to demolish the present structure and replace it with a modern American basement dwelling up-to-date in every way.

2D AV.—Maurice Herrmann sold 947 2d av, a 4-sty tenement, 20

2D AV.—Maurice Herrmann sold 947 2d av, a 4-sty tenement, 20 x70, 40 ft north of 50th st.

Buys Valuable Corner.

Buys Valuable Corner.

6TH AV.—William McDonald bought through the Reilly Realty Co. and Wasserman & Krause the leasehold of property 665 to 677 6th av and 102 and 104 West 39th st, southwest cor, seven 4-sty buildings, and a 6-sty building, 100x100, for \$55,000. Mr. McDonald's father, recently deceased, dealt profitably in real estate in the vicinity of Herald Square, having sold the lease of the northwest cor of Broadway and 32d st to the Hudson Terminal Co. for \$225,000, and who also refused an offer of \$350,000 for the southwest cor of 6th av and 32d st. It is not known definitely what Mr. McDonald's plans are in regard to the southwest cor of 6th av and 39th st, but the location is a very choice one, particularly for a high-class restaurant, owing to the fact that almost directly opposite will be erected the Maxine Elliott theatre. The seller, Henry G. Silleck, acquired the property just sold on December 14, 1896. The Union Dime Savings Bank are going to build on the block to the north. This section is attracting considerable notice, due to the uplift in values. north. This see uplift in values.

NORTH OF 59TH STREET.

Apartment Changes Hands.

62D ST.—S. B. Goodale & Son sold for the Madison Square Mortgage Co. to an investor the 5-sty and basement triple flat, 152 West 62d st, 25x100.5. Adjoining on the east is the armory of the 12th Regiment, which occupies a plot 325 feet on 62d st by 200.10 feet on Columbus av by 175 feet on 61st st. The house just sold is one of a row of 9 similar structures, and is built to a depth of 86 feet. Abutting on the rear is a 5-sty flat, 40x85x100.5.

70TH ST.—The McVickar, Gaillard Realty Co. sold for Annie Davis 146 West 70th st, a 4-sty and basement brownstone dwelling, 16x 100.5, to Dr. H. A. Cassoitt, for occupancy. The present seller paid \$26,000 for this property on April 30, 1907, when they bought it from Samuel Adams and ano, executors of Maria L. Adams. The property was assessed at \$20,500.

70TH ST.—Peter Axelrod sold for D. Rieser 324 and 326 East 70th st, two 4-sty flats, 50x100, built to a depth of 70 feet each. This block is entirely devoted to flats.

71ST ST.—The Toch Realty Co. sold 336 West 71st st, a 3-sty high stoop brownstone dwelling, 18x100.5, to Bernard Chrystal, the

stoop brownstone dy tenant in possession.

Buys for Occupancy.

84TH ST.—Marie Robert sold 48 West 84th st, a 3-sty brownstone dwelling, 17.9x102.2. A mortgage of \$14,000 for 3 years at 5% was placed on this dwelling on April 16, 1908. The lender was the German Savings Bank. St. Matthews Episcopal Church is on this block. The house is 55 feet deep. Mary A. and Elizabeth P. Keena are the buyers.

91ST ST.—Slawson & Hobbs sold for Phillip H. Wallenstein to a client for investment the 5-sty double flat at 80 West 91st st, 25x 100.8. Peter Wolfe sold this house to Mr. Wallenstein on May 6, 1907, subject to a mortgage of \$17,000. It is located 75 feet east of Columbus av. The last assessment was for \$25,000 with improve-

92D ST.—The William Rosenzweig Realty Operating Co. sold 114 East 92d st, 25x100.8, to the Charter Realty Co., which acts for Anson Phelps Stokes. Mr. Stokes will erect a garage on the lot. William A. White & Sons acted as brokers in the transaction. This is the only vacant plot on the block. A synagogue is across the street. Two 5-sty flats adjoin the premises just sold on the east. There are 7 private dwelling on the west of this lot.

100TH ST.—Madeline E. Claussen sold to Max Neuburger, the tenant in possession, 235 West 100th st, a 4-sty dwelling, 15x100.11. On the east of the premises is Nameoki Club.

Purchased for Investment.

Purchased for Investment.

117TH ST.—Charles W. Smith, of the office of James K. Holly, in conjunction with W. J. Collins, sold for Richard Bullwinkel, of Central Valley, N. Y., the two 5-sty flats, 38 and 40 West 117th st, each 25x100. Charles Horning is the purchaser of No. 38, and Paul Miklowitz, of No. 40. The gross rents of each house aggregate \$3,396. There are two apartments on a floor, each having 5 rooms and tiled bath, with open plumbing. Each house is subject to a mortgage of \$50,000 and were bought by the present seller from Mary A. Young on May 20, 1905. Public School 184, occupying a plot 150x200.10, and running through to 116th st, is located 25 feet to the east. Abuting on 116th st is the building of the Columbia Typewriter Manufacturing Co., 100x100. The houses just disposed are two of a row of 13 similar structures, built to a depth of 84 feet each. Title will be taken September 15.

Woman Investor Sells.

Woman Investor Sells.

Woman Investor Sells.

129TH ST.—Mrs. Matilda S. Jones sold the Eldorado, a 5-sty apartment house at 56 West 129th st, 27.6x99.11, between 5th and Lenox avs. The property is mortgaged for \$28,200.

131ST ST.—John Bottomley sold 230 West 131st st, a 3-sty and basement brownstone dwelling, 12.6x100. There is a double row of private houses in this block. Many of them are very narrow.

141ST ST.—Peter Axelrod sold for S. Veder 201 to 209 West 141st st, five 5-sty flats, 100x100, each 65 feet deep. This property is 75 feet west of 7th av. Adjoining on the west is the rectory of St. Charles Borromeo Church, with the school attached fronting on 142d st. Abutting on this latter st are seven 3-sty dwellings. The Renaissance, a 6-sty apartment, adjoins facing 7th av, on lot 75x75.

144TH ST.—The Norman Realty Co. sold for Philip Reilly 236 West 144th st, a 6-sty apartment house, 26x100, to Martha Rambow, who gives in exchange 236 East 49th st, a 3-sty dwelling. The house just sold is built 70 feet deep. Across the street is a vacant plot with a frontage of 240 feet. This is part of the old terminal property formerly belonging to the elevated railroad.

145TH ST.—In exchange for the 3-sty brk dwelling, 46 Edgecombe av, on the southeast cor of 137th st, Frank T. Ludlow takes 163 and 165 West 145th st, a 6-sty apartment house, 40x99.11.

Apartments in New Hands.

AMSTERDAM AV.—Butler and Herrman Co, sold for the Frederick Puth. Co. to Caroline, Univien the 6 sty elevator capartment house.

AMSTERDAM AV.—Butler and Herrman Co. sold for the Frederick Ruth Co. to Caroline Uhrich the 6-sty elevator apartment house 1109-1111 Amsterdam av, 40x100. There is a mortgage of \$64,000 on these premises. The adjoining house, Nos 1105-1107, a similar structure, was reported sold last week by the same company, also subject to a mortgage of \$64,000. The rent of the premises just disposed of aggregates \$13,000, while the two houses taken together rent for about \$25,000. Each floor is laid out for four families. The outlook over Columbia University grounds makes these apartments desirable. desirable.

BROADWAY.-Althea S. Rudd Ward sold 2781 and 2787 Broadway, BROADWAY.—Althea S. Rudd Ward sold 2781 and 2787 Broadway, two 5-sty flats facing Schuyler square. The former occupies a plot 26.10x100, at the northwest cor of 107th st, and the latter is 25x 100, 75 feet north of the cor of 107th st. The two are separated by the Trouville apartment house, a 7-sty building, 50x89x100. Across the avenue is the Ridgewood apartment, a 7-sty building. There is a subway station at 110th st. Some properties were given in trade. Title will be taken Sept. 1. Mrs. Ward is a large owner of Manhattan property. Her holdings include No. 37 West 8th st, 222 West 8th st, 2501 Broadway, 418 Riverside Drive, 836 West End av and 115 8th av. 222 West 84th st, 250 End av and 115 8th av

End av and 115 8th av.

CATHEDRAL PARKWAY.—H. & C. Levis sold for John D. Crimmins to Edgar A. Levy the plot of 26 lots, 325x191.10, on the north side of Cathedral Parkway (110th st), running through to 111th st, 325 feet east of Broadway and extending to within 125 feet of Amsterdam av. Mr. Crimmins has been accumulating this large tract for more than ten years, having made some of his purchases before 110th st was placed in the control of the Department of Parks, and immediately after the block to the east was selected as the site of the Cathedral of St. John the Divine. There is a building in course of construction on the southwest cor of Amsterdam av and 110th st. This section is being developed very rapidly.

Edgecombe Avenue Activity.

Edgecombe Avenue Activity.

EDGECOMBE AV.—W. J. Huston & Son sold for Mrs. Mary Q. Nally a client 201 Edgecombe av, a 3-sty brk and stone dwelling, 16.8 09.11. Title will be taken Sept. 1.

EDGECOMBE AV.—Frank T. Ludlow sold 46 Edgecombe av, southast cor of 137th st, a 3-sty brick dwelling, 19.1x90. In exchange dr. Ludlow takes 163 and 165 West 145th st, a 6-sty apartment 40x99.11.

WEST END AV.—Pease & Elliman sold for Adelaide Lagasse 353 West End av, a 4-sty dwelling, 22x55.5, 45 feet south of 77th st. Mrs. Lagasse bought this house Jan. 5, 1907, and also No. 345 on the same date.

2D AV.—Samuel Jaffe and M. Frank sold for Philip Drucker the southeast cor of 98th st and 2d av, to Joseph Lasner, who gave in part payment 10 lots on Long Island. Mr. Drucker will improve this property with 1-family dwellings.

2D AV.—Newman Leavy sold for Elias Feinberg the northeast cor 2d av and 117th st, a 5-sty tenement, 25.5x81. There is a subway station in front of the door. The building is 77 ft. deep. The property is subject to a mortgage of \$31,000. The building has a

WASHINGTON HEIGHTS.

Dwellings in Demand.

141ST ST.—The Picken Realty Co sold 469 West 141st st, a 4-sty dwelling, 18x99.11. Title will be taken about Sept. 15. The property is mortgaged for \$17,000 at 5%.

151ST ST.—E. J. Kehoe sold for Thomas Meehan, the attorney, of 38 Park row, the 5-sty double apartment house, 452 West 151st st, 21x99.11, located 254 ft. east of Amsterdam av, to Peter Dongan. The present seller bought this property from Mary E. Lockwood on August 29, 1907, subject to a mortgage of \$17,500. The adjoining house, No 450, another 5-sty apartment, 20.6x99.11, was recently sold through the Renton-Moore Co.

Heights Block Front to Be Improved.

BROADWAY.—The Wannegan Realty Co sold to Henry T. Bulman the block front on the west side of Broadway between 163d and 164th sts, 200x125. S. Marcus was the broker. The property includes ten lots and is part of the old deaf and dumb asylum tract, which occupied three entire square blocks. The sellers purchased this property from the Vanderbilt syndicate three years ago through this same broker. Many improvements have taken place in this neighborhood in that time. Streets have been cut through, and

the property has been prepared for development. The present purchaser will erect two high class elevator apartment houses on his newly acquired property, each occupying a plot 100x125 ft. Last week the sale of the entire block front opposite was reported, when the Speedway Realty Co sold to Alexander Kahn.

BROADWAY.—Mrs. Cora Redfern bought from Charles Kaiser 3147 Broadway, a 6-sty apartment house, 41.8x100. Mrs. Redfern gives a part payment her residence, on 22d av, Bensonhurst, on plot of lots. Charles Hoerlein was the broker in the transaction.

BRONX.

More Faile Street Sales.

FAILE ST.—The American Real Estate Co, sold one of their new A-Re-Co. two-family houses, No 1015 Faile st, to B. Hess.

FAILE ST.—The American Real Estate Co. sold 1017 Faile st to L. V. Kapp. This makes 21 of these houses sold by this company since February.

HALL PL.—Woodstock Exchange sold for Mary Leimbucher to Louis Siegel 1072 Hall pl, a 2-family house, 30x110.

138TH ST.—Harvey N. Bloomer sold for Bayside Realty Co, two lots at the northeast cor of 138th st and Bergen av to Charles T. Cummings.

Cummings.

167TH ST.—Douglas Robinson, Charles S. Brown & Co., in conjunction with George Fox Tiffany, sold for Benjamin M. Tucker 100×100 at the northeast cor of Bryant av and 167 th st.

Will Improve Purchase.

181ST ST.—Robert Gans sold for C. William Widmayer and Chas. H. Hohns to a builder for improvement a plot of 6 lots including the southwest cor of 181st st, and Walton av.

228TH ST.—In part payment for the plot on the north side of 232d st, near Kingsbridge road Mrs. Solner gave, 25x114, in the south side of 228th st, 280 ft. east of Barnes av.

232D ST.—Mrs. Solner resold a plot 150x114 in the north side of 232d st, near Kingsbridge road, and took in part payment, 25x114, in the south side of 228th st, 280 ft. east of Barnes av.

CAMBRELENG AV.—Ernst & Cahn sold for a client to John Wallece the 2-sty and basement dwelling known as 2305 Cambreleng av 16.8x100.

lace the 2-s av, 16.8x100.

CARTER AV.—Bessie M. McQuade sold 1867 Carter av, a 3-sty tenement, 16.8x77, near Tremont av.

Two-Family Houses in Demand.

DALY AV.—Warch & White sold for Charles Keil to P. Cahill the 2-family frame house 1980 Daly av, on lot 25x47. P. Cahill gave in part payment a plot 66x155, in Mount Vernon.

GRANT AV.—Frank Begrisch, Jr., sold for the Cohen & Eckman Co, two semi-detached 3-sty three-family brick houses on the east side of Grant av, between 165th and 166th sts. Four of these houses, out of a row of 10 just finished, have now been sold.

GRANT AV.—S. Anderson Realty Co. sold for the Frederick Ruth Realty Co., 33x100, at the southeast cor of Grant av, and 165th st.

HOE AV.—Jacob Pickelner sold to Margaret Mack 1151 Hoe av, a 3-family frame dwelling, 25x100. W. H. Halicy was the broker in the deal.

Sold Before Completion.

MORRIS AV.—August Jacob & Son have sold to a client one of their 1-family houses in the course of construction at 179th st and Morris av.

PROSPECT AV.—John Cook sold 50x107.6 on the east side of Prospect av, 125 feet north of 183d st, to Philip Kaufman, who gave in exchange 25x100 on the south side of 12 st, 380 feet east of Ave D, Unionport.

SHERIDAN AV.—S. Anderson Realty Co. sold 69x107 at the north-west cor of Sheridan av and 163d st, for the Frederick Ruth Realty

UNION AV.—R. Elkan & Co. sold for I. Pick the 2-family house 634 Union av; also 50x105 on 5th av, Mt Vernon, 150 ft. south of 6th av.

UNION -Paul Bultmann sold for Mr. Dammever to John Bayer 1089 Union av, a 3-family flathouse 20x100.

UNIONPORT.—In part payment for the plot, 50x107.6, on the east side of Prospect av, 125 feet north of 183d st, Philip Kaufman gives to John Cook, 25x100, on the south side of 12th st, 380 feet east of Ave D, Unionport.

LEASES.

Harvey N. Bloomer leased 2835 3d av for I. Blyn & Sons to the Hygrade Wine Co.

The Imperial Theatre Co. leased for 10 years, at \$4,800 a year, the building 60 and 62 West 116th st.

S. Osgood Pell & Co. leased for Catherine Brower the dwelling, 46 West 11th st, for a term of 5 years, to Henry B. Binsse.

S. B. Goodale & Son leased for the J. Cohn estate to the National Cash Register Co. the stable situated at 212 West 36th st.

William A. White & Sons leased for August Miller the building 18 West 37th st for a long term of years to William A. Pond & Co.

J. H. Harlam & Co. leased dwelling 440 Lenox av for the estate of David Silberstein to Emanuel Schloem for a term of years.

Van Vliet & Place leased for F. Egler the dwelling and stable at 230 and 232 West 10th st, and for the Jacobus estate the dwelling 94 Morton st.

Walter J. Solomon leased to Maurice Baumfeld the southeast cor of Madison av and 59th st for 20 years and 6 months for a total rental of \$35,000.

The Underwriters' Realty and Title Co. leased to Otto Uhlmann for a client of Moore & Wyckoff, for a hair-dressing parlor, 41 West 36th st, for 5 years.

The Ludlow-Day Realty Co. negotiated leases of the following

The Underwriters' Realty and Title Co. leased to Otto Uhlmann for a client of Moore & Wyckoff, for a hair-dressing parlor, 41 West 36th st, for 5 years.

The Ludlow-Day Realty Co. negotiated leases of the following dwellings: 72 West 85th st, 119 and 121 West 13th st, 114 West 71st st, and 51 West 84th st.

Henry M. Weill leased for 21 years for Alice Schmidt the building 239 and 241 Wooster st to Taighman Brothers, electrical engineers, who will alter the property for their own business.

F. R. Wood & Co. leased for Thomas F. Devine to the Hexter Taxicab Co. 249 and 251 West 64th st, vacant, on which the lessees will erect a 4-sty garage. The lease is for a long term of years.

Henry M. Weill leased for the United Merchants' Realty and Improvement Co. to Cella & Razetti the building 630 8th av for a term of years. The structure will be remodelled for use as a restaurant.

A. Herrmann leased for August Miller to Wm. A Bord of Co.

A. Herrmann leased for August Miller to Wm. A. Pond & Co. the entire building 18 West 37th st for a term of 20 years at an aggregate rental of \$150,000. Mr. Pond will occupy these premises as a music and piano sales room.

Cammann, Voorhees & Floyd leased for the Eagle Fire Co. to Miguel Folguera the building 139 Front st; also the buildings 27 and 29 de Peyster st for the same company to Rutger Bleecker, and the dwelling 337 West 12th st to B. Moroney.

J. B. English leased for Thomas Hindley 142 West 48th st, for William Hoegg 170 West 48th st, for William Eisen 235 West 49th st, for J. S. Spencer 236 West 49th st, for M. A. Reddington 103 West 76th st, and for John D. Roche 257 West 55th st.

The Duross Co. leased for a Capt. Brogan the 3-sty and basement dwelling at 60 Perry st to a Mr. Bramgan for a term of years; also leased for M. L. & C. Ernest the 4-sty high stoop dwelling at 360 West 18th st to Mrs. Florence Reed for a term of years.

Henry M. Weill leased for the United Merchants' Realty & Improvement Co. to Cella & Razetti the building 630 8th av for a term of years, to be remodeled as a restaurant; for Alice Schmidt to Taigman & Wald 239 and 241 Wooster st, two 4-sty dwellings, for a term of 21 years, to be remodeled for business, and for L. & A. Pincus to Mathilde Soeber a 3-sty dwelling 258 West 34th st.

SUBURBAN.

HASBROUCK HEIGHTS, N. J.—Duross Co. sold to Mary T. Hett-ger the Titus A. Brooks residence, in Division av, Hasbrouck Heights, N. J.

LONG BRANCH, N. J.—Cahn & Cahn sold to H. Hommel a 3-sty 16-room house at the cor of Ocean and Sea View avs, Long Branch,

FAR ROCKAWAY, L. I.—Edward I. Wilson, 330 5th av, sold to the Toch Realty Co., 320 5th av, for improvement, three blocks, containing 53 lots, at Far Rockaway, L. I., adjoining the Inwood

Country Club.

BORDONIA, N. Y.—Roberts & Co. report the sale of De Witt Clinton Overbaugh's 100-acre Fern Hill estate at Bordonia, Rockland county, to E. Campbell, of New York.

NEW BRUNSWICK, N. J.—Macray & Rosenthal purchased for clients at New Brunswick the Bunting farm of 123 acres, the Manning farm of 72 acres, the George Rolfe farm of 120 acres, as well as some other properties, which they will start to develop at once. BAYSHORE, L. I.—The Offenberg Suburban Realty and Development Co. bought a tract of 600 lots at Bayshore, L. I. The property, which lies between Halsey and Green sts, near the railroad station, will be developed immediately. A number of dwellings will be erected

will be developed immediately. A number of dwellings will be erected in the spring.

BRIDGEPORT, CONN.—Matt J. Ward Co. sold the furniture, lease and business of the Atlantic Hotel, Bridgport, Conn., for Mr. Charles H. Ruhl to C. A. Hollingsworth, for many years connected with New York and St. Louis hotels. Mr. Hollingsworth is now in possession. The consideration was \$50,000.

The consideration was \$50,000.

RIVER VIEW MANOR, N. Y.—The Hastings Homes Co. reports active selling during the last fortnight at River View Manor, near Hastings-on-Hudson. A dozen large villa plots have been disposed of on Euclid av, Summit Driveway and Buena Vista Driveway. Among the buyers, several of whom will build immediately, are R. J. Mount, Edith Tyler Urich, Gustay Heubach and F. H. Spear.

Sales Along the Palisades.

Sales Along the Palisades.

G. A. Alvine sold to A. Sjobre 25x100 in the west side of Day av, Ridgefield, N. J. F. Dervieux sold to Mary Hallowell 50x190 in the east side of Bulls Ferry road, Fort Lee, N. J. Day Land and Improvement Co. sold to George J. Fermier several tracts, ranging from 8 to 12 acres, west of the John Deans land, Ridgefield, N. J. Palisades Realty Co. sold to F. Barreca 25x122, in the west side of Grand av, Palisade Park, N. J., and to Jacob Seligson 40x100, in the east side of 3d st, Palisade Park, N. J. Elizabeth Cullen sold to Henry Goldberger 50x125, in the east side of Broad av, Palisade Park, N. J. The Columbia Investment and Real Estate Co. reports the following sales: To A. Bahm, 50x100, in the east side of Palisades av, Grantwood, N. J.; to W. A. Hines, 50x100, in the west side of Fulton av, Hudson Heights, N. J.; to K. McLuso, 50x100, at a cor of George road and Lincoln av, Grantwood, N. J.; to A. A. Siebel, 50x100, in the north side of Knox av, Grantwood, N. J., and to A. Papollo, 25x100, in the south side of Oakdene av, Grantwood, N. J.

STATEN ISLAND.

TOMPKINSVILLE, S. I.—The Butler & Herrman Co. sold for Caroline Urich 16 houses on Westervelt av, Tompkinsville, S. I.

DONGAN HILLS, S. I.—H. T. Metcalfe & Sons sold for William J. Schieffelin and others a tract of land on Todt Hill road and Prospect av, near the Country Club, at Dongan Hills, S. I., to a Mr. Wiener, of Manhattan.

UNCLASSIFIED SALES

The total number of sales reported is 58, of which 10 were below 59th st, 27 above, and 21 in the Bronx. The sales reported for the corresponding week last year were 47, of which 11 were below 59th st, 17 above, and 19 in the Bronx.

The total number of mortgages recorded for Manhattan this week was 83, as against 124 last week, and in the Bronx 112, as against 104 last week. The total \$2,809,516, as against \$4,148,018 last week. The total amount involved is

The amount involved in the auction sales this week was 363,755, and since January 1, \$39,496,815. Last year \$363,755, and since January 1, \$39,496,815. Last year the total for the week was \$382,191, and from January 1, \$29,595,828.

7TH AV.—The firm of Felix Isman, Incorporated, bought the property at the northwest cor of 7th av and 42d st, on which stand Hammerstein's Victoria theatre and the Belasco playhouse. The site was secured from the Davidson estate. When the announcement was made through a representative of Mr. Isman, there was considerable interest shown among theatrical managers and owners. The move has given rise to the rumor that Oscar Hammerstein will have to vacate the Victoria theatre, which will be taken over by the Isman management. Mr. Hammerstein has a lease on the Victoria theatre which has 16 years yet to run, with the renewal privilege of 21 years more. Mr. Belasco also has a long term lease on his play house.

74TH ST.—Slawson and Hobbs and Hopkins & Boyd sold for Otis A. Mygatt 235 West 74th st, a 3-sty brownstone dwelling, 20x102.2.

EAGLE AV.—Fannie Cohn and Sophie Margolies sold 682 Eagle av, a 2-sty brick dwelling, 20x115.



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MORTGAGE MAN WANTED: To take charge of the mortgage loan department of a prominent established downtown Real Estate firm, on partnership basis. Give names of former employers, volume of business done for each, salary received and length of employment. "BROKER," Box 15, Record and Guide.

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REAL ESTATE NOTES

A building loan of \$95,000 was given by the City Mortgage Co. to the South Side Construction Co. on the property in the south side of 179th st, 125 ft. east of St. Nicholas av, 125x100.

The Title Insurance Co. of New York loaned \$100,000 to the

Washington Heights Development and Construction Co. on the property, 100x100 at the northwest corner of Audubon av and

S. B. Soloman, of Edgar P. Holdridge's office, secured a loan of \$87,000 at 5 per cent. for five years from the Albany Savings Bank on the property 19 to 23 East Broadway, southeast corner of Catherine st, a 7-sty store and loft building.

The Gallatin Realty Co. has elected the following officers: President, E. J. Conway, president of the Irish-American Athletic Club; vice-president, John H. Lawrence; treasurer, James The capitalization of the company is \$250,000. The R. Keane. offices are located at 71 and 73 Nassau st.

The real estate firm known as Gilman, Randall & Paterson has been dissolved. A new partnership, however, has been formed under the firm name of Gilman & Paterson, with offices located at their old address, No. 39 East 42d st. The firm consists of Edward E. Gilman and Henry A. Paterson.

A lease was recorded on the property at the southeast corner

of Madison av and 59th st, being part of the Lenox Lyceum, from Walter J. Salomon to Maurice Baumfeld for 20 years and 6 months, from Oct. 1, 1908. The consideration for the first year is \$30,000 and thereafter until the expiration the annual rental will be \$35,000.

Two main thoroughfares, Tremont and Wetschester avs, are now being extended by the city through Throgg's Neck Gardens. The Estates Development Co. believe that the water front on the sound and upper East River will make property values on these avenues in Throg's Neck Gardens increase even more rapidly than has been the case farther west on the same

Title was taken by the Stuyvesant Realty Co. during the week to the property Nos. 228 to 236, 242 and 250 West 34th st, from the City Real Estate Co. These properties were bought by the Pennsylvania Railroad, through the City Real Estate Co. several years ago, and will be used to provide an entrance to the terminal from 34th st. The railroad also owns the abutting property on the north side of 33d st.

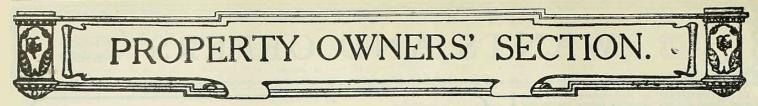
The Alliance Realty Co., the Century Investing Co. and the Star Holding Co. transferred their respective interests in the Everett House property on the northwest corner of 17th st and 4th av to the Everett Investing Co. The work of tearing down the old building has been begun by a wrecker representing the Fuller Construction Co. Building Superintendent Murphy issued the permit last Tuesday. A 16-sty office building will be erected on the site.

The Sandringham Hotel Co. sold to W. M. Naef, through John Tyler, the lease and furniture of the Hitel Hamilton, located at No. 132 West 45th st, 35x100.5. The house is located in the heart of the apartment hotel and theatre district. Adjoining on the west is the stage door of the Hudson Theatre, while across the street is the Lyceum Theatre. Adjoining on the east are two private dwellings occupying a plot 40x100.5. The structure, whose lease has just been disposed of, will build to a depth of 90 ft.

The Albany County Savings Bank loaned \$190,000 to the Church & Warren Co. on the property No. 32 Warren st. mortgage has five years to run and bear interest at 5 per cent. The same institution loaned \$100,000 on the same terms to the United States Trust Co., as executor, on the property 109 to 113 Park row. This bank has been a heavy loaner of money on bond and mortgage since the panic last October. expression of confidence on their part as to the permanency of Manhattan realty.

The announcement of President Mellin that his company, the New York, New Haven & Hartford Railroad, would be willing to undertake the building and operation of the East Side subway is agreeable, although not wholly unexpected, news to property owners in Manhattan and the Bronx. For many months it has been steadily growing apparent that some change in the terminal plans of the New Haven road were under consideration, and although the matter has been held in abeyance by the officials of that company, discerning speculators anticipated just such a movement on their part and have made extensive purchases along the route likely to be followed.

The Corpus Christi Roman Catholic Church gave a mortgage to the Emigrant Industrial Savings Bank of \$109,000 on the property in the north side of 121st st, located 100 ft. east of Broadway, 100x191.10, and running through to 122d st. This mortgage has three years to run and bears interest at per cent. The Title Insurance Co. of New York loaned Harry P. Ward, of Closter, N. J., \$100,000 on the property in the south side of 32d st, 138 ft. west of Madison av, and known by the street numbers 14 and 16 West 32d st. This mortgage is divided into two, and half placed on each house. It has three years to run and the interest rate is five per cent. The size of the plot is 43.8x98.9.



CONDEMNATION PROCEEDINGS.

NEW ST.—Opening and extending between Broome and Spring sts. Commissioners Ernest L. Crandall, Nathan Fernbacher and Wm. J. Carroll give notice that they have completed their estimate and assessment in this proceeding. All persons objecting thereto are required to present their objections in writing, duly verified, at 90 and 92 West Broadway on or before Sept. 18. Unless objections are filed the Commissioners will present their final report to the Supreme Court on Nov. 24.

PIER (OLD) 14, EAST RIVER.—Relative to acquiring right and title to and possession of the wharfage rights, terms, easements, emoluments and privileges appurtenant to Pier (Old) 14, East River, not now owned by the city, and all right, title and interest in and to said pier, or any portion thereof, not now owned by the city, and all wharfage rights, terms, easements, emoluments and privileges appurtenant to the easterly one-half part of all that certain bulkhead, dock or wharf property on or near the southerly line of South st, between the easterly side of Pier (old) 13 and the westerly side of Pier (old) 14, and between the easterly side of Pier (old) 14 and Pier (new) 12, not now owned by the city, necessary for the improvement of the water-front on the East River, pursuant to the plan heretofore approved by the Commissioners of the Sinking Fund. Commissioners John T. Dooling, Adolph Schillinger and Thos. J. McManus will present bill of costs and expenses in this proceeding for taxation to Supreme Court.

168TH ST.—Acquiring title to site for armory purposes at northeasterly corner of 168th st and Fort Washington av. Corporation Counsel Francis K. Pendleton gives notice under date of Aug. 15 that Messrs. Delancey Carter, Edward Chase Crowley and Nathan M. Clark were appointed Commissioners of Estimate and Appraisal in this proceeding.

. ASSESSMENTS.

167TH ST.-Opening from Broadway to St. Nicholas av and West 167th st; public pl, bounded by West 166th st, St Nicholas av, West 167th st and Broadway. Area of assessment as follows: Beginning at a point 100 feet south of the southerly side of West 165th st, measured at right angles thereto on a line midway between the westerly side of Broadway and the easterly side of Fort Washington av, and running thence northwardly on a line midway between the westerly side of Broadway and the easterly side of Fort Washington av to a point 100 feet north of the northerly side of West 168th st, measured at right angles thereto; thence eastwardly on a line parallel with the northerly side of West 168th st and parallel therewith to a point 100 feet east of the easterly side of Audubon av; thence southwardly on a line 100 feet east of the easterly side of Audubon av and parallel therewith to its intersection with a line midway between the southerly side of West 168th st and the northerly side of West 167th st; thence eastwardly along a line midway between the southerly side of West 168th st and the northerly side of West 167th st and the prolongation thereof to a point 100 feet east of the easterly side of Amsterdam av; thence southwardly along a line 100 feet east of the easterly side of Amsterdam av and parallel therewith to its intersection with a line midway between the southerly side of West 167th st and the northerly side of West 166th st; thence westwardly along a line midway between the southerly side of West 167th st and the northerly side of West 166th st and the prolongation thereof to a point 100 feet east of the easterly side of Audubon ac; thence southwardly along line 100 feet east of the easterly side of Audubon av and parallel therewith to a point 100 ft. south of the southerly side of West 165th st, measured at right angles thereto; thence westwardly along a line 100 feet south of the southerly side of West 165th st and parallel therewith to the point of beginning. Assessment entered. Payable within 60

HUDSON TUNNELS NEARING COMPLETION.—The officials of the Hudson and Manhattan Railroad Co. state that the chain of tunne's, connecting New York and New Jersey, are rapidly nearing completion, and that by Jan. 1, 1909, the entire system will be in operation, unless something unforseen develops. The south tubes, from Cortlandt st, running under the river, are almost finished, and the workmen are busy laying track under Fulton and Cortlandt sts. This work is progressing at the rate averaging twelve feet a day. The portion of the tunnel which has been in operation for some time past, has been carrying a greater number of people each month. There was natural hesitancy on the part of the traveling public until its safety was demonstrated, but that once being accomplished the road was freely patronized.

WORD TO THE WISE.

AN OPEN LETTER ON WHY SOME BROKERS KEEP THEMSELVES POOR.

N a metropolitan city any business is absolutely sure to go to the wall when the principles on which it is based and conducted are not constitutionally sound. Luck may obtain success in small centres, but Luck is submerged in the gigantic whirl of New York business. Success only attends the thoughtful charting of a proper course. Success in real estate is a question of brains and equipment.

The real estate broker who has the greatest number of bargains to offer to the greatest number of buyers, has mastered the first principle of his business. The second principle is to equip his office with such machinery that the largest possible list of bargains and buyers can be secured with the minimum expenditure of time, labor and money. The reducing of routine labor to a minimum is what is meant by properly systematizing a business. It leaves time for the use of brains in selection. The broker who remains poor does not have enough chance to use his brains.

The first and absolute requisite is proper machinery to build up a stock in trade—something to sell.

And this machinery is a system of records.

Here is the parable of the Broker Who Keeps Himself Poor. A buyer enters the door of his dingy and unprosperous office. Lo and behold! he would buy a cold water tenement, six stories high, three families to a floor east of 3d av and north of 72d st. Go thou out and find it.

And Mr. Poor Broker hustleth out and the mortality in shoe leather and carfare for one week is great while he locateth the houses, and then another week is like unto it while he locateth the owners rushing over Manhattan, Brooklyn, and even to the uttermost parts of the Bronx.

At the end of the second week he returneth to the Buyer, who exclaims, "Go to thou sluggard! I went from you to a real Real Estate Broker. He opened the Real Estate Directory, and in ten minutes from the interlinear description of tenement houses got a full list. He got the correct address, a list of property each one owned and valuations from the same wonderful book. The next day I not only bought a house but traded two others on information from this great book."

And the poor broker smote himself in the neck, for by not paying twenty-seven cents per day for the Real Estate Directory he had lost a commission and besides spent more than that in unnecessary carfare. Thereafter he consoled himself for while he had no money and little brains he had wonderful leg muscles.

To the broker who would make his labor count the Real Estate Directory is absolutely necessary. Without an exception the foremost brokers in Manhattan are its subscribers. We guarantee the 1908 volume to be the best ever issued. A force of fifty men were employed to call at every address given and verify its correctness. Particulars regarding number of stories, material, flats to the floor, rooms to the flat, steam heat, hot water, electricity, elevator, liquor license, and store fronts, are all given in the interlinear description of tenements, stated considerations of 1908 are recorded and the list of property held by each owner has been revised and brought up to date. Conveyances and property affected by will are reported weekly. Payment can be made on the instalment plan, and it is a poor broker indeed who cannot make the Real Estate Directory pay for itself several times over before he has to pay for it. The 1908 Directory will be ready for delivery shortly after Sept. 1, and will be shown to any one on application.—Adv.

PLAN TO RELIEVE WATER SHORTAGE.

At the regular monthly meeting of the House and Real Estate Owners' Association of the 12th and 19th Wards more than 150 members were present. Among the interesting reports discussed was the matter of water supply. Messrs. Bloch and Schnelle, who have been conferring with Commissioner O'Brien relative to securing additional pumping facilities, have hopes of obtaining temporary relief, at least, by a plan to connect with the West 98th st pumping station.

The meeting discussed the matter of transfers on the 59th st car line, and a resolution was passed condemning the action of the transit companies in refusing to issue transfers. A committee consisting of Chas. H. Schnelle, August Wiggers, Jos. Ceyka and Adolph Bloch was thereupon appointed to prepare the resolutions referred to and present them to the Public Service Commission.

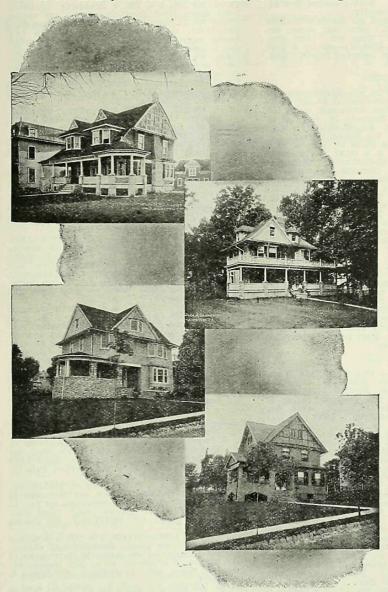
A COMMUNITY OF HOMES.

LARGE UPLIFT IN REALTY VALUES IN NUTLEY SINCE THE OPERATION OF THE McADOO TUNNEL.

T is generally conceded that the complete operation of all the Hudson River tunnels will eventually create a revolution in the realty and transportation conditions of that part of northern New Jersey known as the commuting zone. Since the opening of the first McAdoo tunnel tubes giving continuous transit from Hoboken, N. J., to 19th st and 6th av, Manhattan, an accelerated movement full of promise to investors and home seekers has been noted in the region indicated.

At the present time building lots in the territory referred to are much lower in price and the cost of building considerably less than in almost any other section around New York, which largely accounts for the steady increase of realty development in that community.

A good illustration of what is being accomplished within the nearby suburban belt is furnished by the town of Nutley, where conditions at the outset provide the essentials of nearness to the metropolis and natural beauty of surroundings.



ATTRACTIVE NUTLEY HOMES.

Wm. A. Lambert, Architect.

In an era of exploitation, however, the town makes no bid for the services of the vociferous promoter. Its claims as an ideal residental place rest upon something more substantial than the blaze of trumpets and the clash of cymbals.

LARGE IMPROVEMENT CONTEMPLATED.

Nutley has many advantages that do not usually pertain to the average suburban neighborhood. In fact, it is has everything needful to fulfil the ideal of those who seek the nearest approach to perfection in modern living conditions.

The section in question has been settled for a great many years, the name Nutley being first used in the year 1844.

Nutley has a population approximating 6,000, and a real estate taxable value exceeding \$4,000,000. The town recently voted to unite with Newark and other municipalities in the construction of the gigantic Passaic Valley trunk sewer, which will reclaim the beautiful Passaic River and furnish the cities and towns nearby with the finest sewer system in the world. By joining hands at this time with the larger municipalities the town places itself in a position to secure a material reduction of the real estate assessment incident to the completion of the work in 1912. Calculations show that Nutley will secure a large benefit from this vast scheme of improvement at a lower proportionate assessment than any other municipality.

The town has always taken pride in its schools, of which there are five. One of these is a mammoth new modern building containing 24 class rooms and arranged for kindergarten, primary, grammar and high school classes. The building alone represents an outlay of more than one hundred thousand dollars, and the 15 acres of magnificent park lands surrounding the school easily double the value. A similar school building in the west Nutley section was erected a few years ago at a cost of \$35,000.

MANY ATTRACTIONS FOUND.

Among the perennial attractions that the town affords is its clean and wholesome social life. Thirty to forty organizations vie with each other in furnishing diversion to the townspeople, and it would be hard to find an individual of normal tastes and tendencies who could not find among these one or more to suit his tastes.

It almost goes without saying that a model home town catering to the best class of inhabitants, would be equipped with the essential features of modern comfort and convenience such as electric light, gas, good water, telegraph and telephone system, free mail delivery, graded and macadamized streets, first-class fire alarm system, good sidewalks, etc., all of which are provided in Nutley.

Located on the Newark branch of the Erie Railroad, 14 miles from New York, and with the Newark and Paterson trolley passing through the town, it is easily realized that Nutley has all the advantages of a thriving and successful community. Newark cars run as far as Nutley on a 7½ minute headway and a five-cent fare.

Nutley is representative of the best in suburban New Jersey home life, and it may well be said that the place is worthy of notice both by the professional and the layman interested in modern home development.

The accompanying cut illustrates the prevailing class of home development in progress at Nutley. Among the handsomest sections are Nutley Park and Prospect Heights, both of which owe their artistic beauty and charm to the well directed efforts of an architect of prominence in that locality.

AUCTION SALE AT OAKDALE.

On Great South Bay, adjoining Idle Hour, the home of W. K. Vanderbilt, W. K. Aston has arranged another auction sale of plots, part of his large estate on the water front of Great South Bay, immediately south of the Oakdale Station, Long Is'and, to be held on Thursday, September 3, 11 o'clock, in the Vesey Street Exchange sales room by Auctioneer Bryan L. Kennelly.

He will leave 60% on mortgage at 4% interest, for 3 years. The property is carefully restricted and will be offered in plots 75x150 feet more or less, with no charge for title insurance.

The rapid increase in values of residential sites along the south shore is well understood and there are few points where waterfront on high and level shore can be secured within a short distance of a railroad station, as at Oakdale.

The property offered is conveniently located, being one hour by train to the station at Oakdale and ten minutes to the shore front. The drives around this section of Long Island are beautifully shaded, and appeal not only to the lover of horses, but also to the motorist.

AVOIDING BUBONIC PLAGUE.

In San Francisco, where the danger from bubonic plague is always present, the authorities lately framed a building law which would make it imperative that the ground space beneath all buildings hereafter erected within the limits of that city, be concreted 1½ ins. in depth, and that side foundation walls of concrete be also provided, the object of the proposed measure being to bar out disease breeding rats. The bill provided for the "ratproofing" by means of screens, netting, cement and other material. It also provided that all storerooms, warehouses, residence and other property be provided with traps of an approved pattern, such traps to be inspected daily and freshly baited at least twice within a fortnight.

In alluding to the matter a prominent property owner in lower Manhattan expressed the belief that the New York Building Department would most likely take up the subject of ratproofing buildings hereabouts before the advent of winter.

In so far as the Asiatic plague is concerned, there does not appear to be the need for such drastic measures as mentioned in cities along the Atlantic coast owing to their great distance from the eastern hemisphere. A modified regulation, though, requiring owners of property to more fully safeguard the interests of their tenants by providing suitable floor or wall screens to repel invasions by rodents would be of infinite benefit to all concerned.

LISTING PROPERTY.—The bad effect of listing a property with several agents at once is twofold, according to many property owners. The agent has less inducement to work and the effect on the market is to make it appear that more property is for sale than the facts warrant. Select an agent of known ability and integrity and stick by him.

JOSEPH P. DAY

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AUCTIONEER AND APPRAISER

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NOTICE to PROPERTY OWNERS.

HEARINGS FOR THE COMING WEEK. At 90-92 West Broadway. Wednesday, Aug. 26.

Exterior st, opening, from 64th st to 81st st, at 3 p m.

AUCTION SALES OF THE WEEK.

The following is the complete list of the property sold, withdrawn or adjourned during week ending August 21, 1908, at the New York Real Estate Salesroom, 14 and 16 Vesey St. Except where otherwise stated, the properties offered were in foreclosure. Adjournment of legal sales to next week are noted under Advertised Legal Sales.

*Indicates that the property described was bid in for the plaintiff's account.

JOSEPH P. DAY.

Park av | n w cor 121st st, 100.11x20, 4121st st, No 79 sty stone front tenement. With-

drawn
Prospect av, No 782, e s, 87.3 s Longwood av, 37.6x110.5x40.1x124.6, 5-sty brk tenement.

*88th st, No 206, s s, 127 e 3d av, 33x100.8, 6-sty brk tenement and store. (Amt due, \$12,-\$10.90; taxés, &c, \$963; sub to a mort of \$32,500.) Rosehill Realty Corporation...38,350

Total \$363,755
Corresponding week, 1907. 382,191
Jan. 1st, 1908, to date 39,496,815
Corresponding period, 1907. 29,595,828

ADVERTISED LEGAL SALES.

Sales to be held at the Real Estate Exchange, 14 and 16 Vesey st, except as elsewhere stated.

Aug. 22 and 24.

No Legal Sales advertised for these days.

Aug. 25.

Aug. 25.

165th st, No 475, n s, 150 e Amsterdam av, 25x 77x25.3x88.8, 3-sty frame tenement and 2-sty frame tenement in rear.

166th st, No 464, s s, 150 e Amsterdam av, 25x 102.8x25.3x99, 1-sty frame tenement.

Sheriff's sale of all right, title, &c, which Anna Ryan had on Dec 31, 1907, or since; Marsh, Winslow & Weaver att'ys, 111 Broadway; Thomas F Foley, sheriff. By Joseph P Day.

Day.

Tiebout, av, No 2450, on map No 2456, e s, 70 s 189th st, 42.1x100, 2-sty frame dwelling.

Katonah av n w cor 233d st, 99.10x36.6x86.8x 233d st | 38.10, 2-sty frame tenement and store

store. Elizabeth L Holland agt Thomas G Holland et al; McLoughlin & Martin, att'ys, 309 Broadway; Robert W Maloney, ref (Amt due, \$7,-110.04; taxes, etc., on Katonah av and 233d st property, \$1,086.37 and on Tiebout av property, \$397.90; sub to two morts aggregating \$4,000 on Katonah av and 233d st property.) Mort recorded Oct 15, 1907. By Bryan L Kennelly.

\$4,000 on Katonah av and 2550 st property.)
Mort recorded Oct 15, 1907. By Bryan L Kennelly.

13th st, No 438, s s, 172.9 w Av A, 24.3x103.3,
5-sty brk tenement and store. Jonas Weil et
al agt Osias Karp et al; Gross & Sneudaira,
att'ys, 309 Broadway; Michael F Conry, ref.
(Amt due, \$11,527.48; taxes, &c, \$74; sub to a

mort of \$25,000.) Mort recorded June 16, 1905.) By Joseph P Day.
Brook av | s w cor 141st st, 100.5x113.9x100x 141st st | 104.3, vacant. Francis W Curry et al agt McKinley Realty & Construction Co et al; action No 2. Andrew G Cropsey, att'y, 271 Broadway; Patrick J Dobson, ref. (Amt due, \$8,635.15; taxes, &c., \$384.43; sub to a first mort of \$12,000.) Mort recorded Dec 31, 1904. By Bryan L Kennelly.
Brook av | n w cor 140th st, 100.5x107.3x100x 140th st | 97.9, vacant. Same agt same; action No 1; same att'y; same ref. (Amt due, \$8,635.15; taxes, &c., \$381.01; sub to a first mort of \$12,000.) Mort recorded Dec 31, 1904. By Bryan L Kennelly.

Aug. 26.

Audubon av n w cor 171st st, 95x100, vacant. 171st st | Henry Battermann et al agt Frederick C Beer et al; Julius Silverman, att'y, 150 Nassau st; Frank A Spencer, Jr, ref. (Amt due, \$27,846.55; taxes, &c, \$1,688.41.) Mort recorded Jan 6, 1905. By Joseph P Day.

Hall pl | e s, 77.2 s 167th st, runs s 26 x Intervale av e 48.7 x n e 30.11 to Intervale av, x n w 30 x s w 36.8 x w 32.5 to beginning, vacant. Frank Chmelik agt Geo B Brooks et al; Harold Swain, att'y, 176 Broadway; Geo H Engel, ref. (Amt due, \$2,583.27; taxes, &c, \$119.17.) Mort recorded Feb 10, 1905. By Joseph P Day.

William st, No 91, w s, 78 n Maiden Lane, 14.6 x27.9x14.8x27.10, 4-sty brk, loft and store building. Wm F Dixon et al exrs agt Marie Sonntag et al exrs; Jabish Holmes, att'y, 32 Liberty st; Arthur C Patterson, ref. (Amt due, \$12,650.08; taxes, &c, \$—.) Mort recorded June 24, 1899. By Herbert A Sherman.

man.
34th st, Nos 337 and 339, n s, 210 w 1st av, 40 x97.6; leasehold, 6-sty brk tenement and store. Esther H Tremain agt Peter Costello et al; Joseph A Kent, att'y, 280 Broadway; William Bondy, ref. (Amt due, \$6,678.40; taxes, &c, \$2,210.39; sub to ground rent of \$750 and a first mort of \$24,500.) Mort recorded May 23, 1905. By Joseph P Day.

Aug. 27.

3d av, No 241, e s, 145 n 19th st, 19.6x70, 4-sty brk tenement and store, leasehold. Florence G Bryant agt Joseph Nordenschild et al; John V Irwin, att'y, 203 Broadway; Geo N Boehm, ref. (Amt due, \$7,492.72; taxes, &c, \$257.79) Mort recorded June 1, 1906. By L J Phillips & Co.

Sth av, No 106, e s, 51.1 n 15th st, 26.1x93.6, 5-sty brk tenement and store, leasehold. Letitia K Arnold agt Louise H Carpenter et al; C W Bennett, att'y, 2 Rector st; Maurice B Blumenthal, ref. (Amt due, \$10,704.20; taxes, &c, \$1,690.04.) By Joseph P Day.

Sth av No 104, e s, 25 n 15th st, 26.1x93.6, 5-sty brk tenement and store, leasehold. Same agt Benedict A Klein et al; same att'y; same ref. (Amt due, \$10,710.74; taxes, &c, \$983.74.) By Joseph P Day.

133d st, Nos 27-to 31, n s, 360 w 5th av, 50x 99.11, 6-sty brk tenement and store. Sender Jarmulowsky agt David Shaff et al; Morris Clark, att'y, 54 Canal st; Edw J McGean, ref. (Amt due, \$32,515.48; taxes, &c, \$1,036.99; sub to a mort of \$18,000.) Mort recorded June 30, 1905. By Joseph P Day.

13mpson pl, No 438, old No 12, e s, 183.4 n 144th st, runs e 100.6 x n e 3.2 x n w 49.11 x w 55 x s 17.7 to beg, 3-sty frame tenement. Catharine B Meyfarth agt Ajax Construction Co et al; Chris G Hupfel, att'y, 59 Wall st; Arthur C Patterson, ref. (Amt due, \$5,668.92; taxes, &c, \$108.31.) Mort recorded July 7, 1906. By Joseph P Day.

Timpson pl, No 442, old No 16, s e s, 446.10 s w 147th st, runs s e 98.4 x s 8 x w 44.2 x n w 58.4 x n e 20.7, 3-sty frame tenement. Marie Koster agt same. Same att'y; same ref. (Amt due, \$6,221.89; taxes, &c, \$132.95.) Mort recorded July 5, 1906. By Joseph P Day.

Timpson pl, No 442, old No 16, s e s, 446.10 s w 147th st, runs s e 98.4 x s 8 x w 44.2 x n w 58.4 x n e 20.7, 3-sty frame tenement. Marie Koster agt same. Same att'y; same ref. (Amt due, \$6,75.14; taxes, &c, \$1,452.64.) Mort recorded Dec 12, 1905. By Joseph P Day.

150th st, No 799| 94.7, 6-sty brk tenement and store. Fanny rdls es, intersec n s 167th st, 118.11 167th st | x 63.1x10x135.1, vaca

Day.

dgecombe av, Nos 169 and 171, w s, 475 s
145th st, 40x100, 6-sty brk tenement. Sarah
Goldin agt Fernando C Candee, Jr, et al;
Jehial M Roeder, att'y, 119 Nassau st; Geo H
Engel, ref. (Amt due, \$10,833.01; taxes, &c,
\$964.30.) Mort recorded Nov 9, 1906. By
Joseph P Day.

Hon. ABRAHAM R. LAWRENCE, Counsel

46th st, No 206, s s, 118 w Broadway, 20x100.5, 5-sty stone front dwelling. N Taylor Phillips agt James Churchill et al; action 1; Fettretch, Silkman & Seybel, att'ys, 41 Park row; Gilbert H Montague, ref. (Amt due, \$26,089.31; taxes, &c., \$452.64; sub to a first mortgage of \$12,000.) Mort recorded Oct 1, 1906. By Joseph P Day.

46th st, No 208, s s, 138 w Broadway, 20x100.5, 5-sty stone front dwelling. Same agt same; action No 2; same att'ys; same ref. Amt due, \$25,971.63; taxes, &c., \$454.64; sub to two morts aggregating \$15,000.) Mort recorded Oct 1, 1906. By Joseph P Day.

46th st, No 210, s s, 158 w Broadway, 20x100.5, 5-sty stone front dwelling. Same agt same; action No 3; same att'ys; same ref. (Amt due, \$20,270.23; taxes, &c., \$439.79; sub to ½ of a first mortgage of \$36,000.) Mort recorded Oct. 1, 1906. By Joseph P Day.

46th st, No 212, s s, 178 w Broadway, 19x100.5, 5-sty stone front dwelling. Same agt same; action No 4; same att'ys; same ref. (Amt due, \$20,256.68; taxes, &c, \$437.79; sub to ½ of a first mortgage of \$36,000.) Mort recorded Oct 1, 1906. By Joseph P Day.

Aug. 28.

Park av, No 1316|s w cor 100th st, 25.11x73.3, 100th st, No 76 | 5-sty brk tenement. Jonas Weil et al agt Cecilia Gottlieb et al; Isaac S Heller, att'y, 71 Nassau st; James A Foley ref. (Amt due, \$4,563.15; tayes, &c, \$926.43; sub to a first mort of \$17,000.) Mort recorded Oct 15, 1905. By Joseph P Day.

138th st, Nos 33 to 37, n s, 295 w 5th av, 75x 99.11, two 6-sty brk tenements and stores. Corporate Realty Assn agt Hyman B Goldberg et al; Strauss & Anderson, att'ys, 141 Broadway; Henry B Hammond, ref. (Amt due, \$45,597.38; taxes, &c, \$1,100; sub to two morts aggregating \$26,000.) Mort recorded April 27, 1906. By Joseph P Day.

Av C, No 158 | s e cor 10th st, runs 10th st, Nos 398 and 400 | s 23.4 x e 60 x s .04 x e 23 x n 23.9 x w 83 to beginning, one 3 and one 4-sty brk tenements and stores. Bruno Benziger agt William Fritzel et al; Oscar R Seitz, att'y, 76 William st; Louis F Dovle, re

Aug. 29. No Legal Sales advertised for this day.

No Legal Sales advertised for this day.

Aug. 31.

Wooster st, Nos 137 and 139, w s, 120 n Prince st, 50x100, 6-sty brk loft and store building. U S Trust Co of N Y agt Julius Landauer et al; Stewart & Shearer, att'ys, 45 Wall st; Frank Hendrick, ref. (Amt due, \$96.093.04; taxes, &c, \$1,608.44.) Mort recorded Feb 12, 1894. By Joseph P Day.
3d av, No 1587, e s, 25.8 n 89th st, 25x110, vacant. Corn Exchange Bank agt Gertrude R Waldo et al; Ehrich & Wheeler, att'ys, 42 Broadway; Wm B Ellison, ref. (Amt due, \$10.429.90; taxes, &c, \$1,477.01.) By Joseph P Day.

Vyse av, Nos 1476 and 1478.

\$10.429.90; taxes, &c, \$1,477.01.) By Joseph P Day.

Vyse av, Nos 1476 and 1478, e.s. 200 n Jennings st, 50x100, 2-sty frame dwelling and vacant. John J Harrington agt Adela M Harrington et al; Patrick J O'Beirne, att'v, 132 Nassau st; John H Judge, ref. (Partition.) By Bryan L Kennelly.

14th st, No 432, s. s., 419 e 1st av, 25x94.2x29.10 x110.6, 6-sty brk tenement and store. Benjamin Kaufmann agt Frank B Doughty et al; Frankenthaler & Sapinsky, att'ys, 35 Nassau st; James M Sullivan, ref. (Amt due, \$11,556.52; taxes, &c, \$783.69; sub to a first mort of \$30,000.) Mort recorded Nov 9, 1905. By Joseph P Day.

OFFICIAL LEGAL NOTICES.

ATTENTION IS CALLED TO THE ADVERTISEMENT IN THE CITY RECORD of August 19 to September 2, 1908, of the confirmation by the Board of Assessors and the entering in the Bureau for the Collection of Assessments and Arrears, of Assessments for LOCAL IMPROVEMENTS IN THE BOROUGH OF BROOKLYN:

STH WARD, SECTION 3. 46TH STREET—REGULATING, GRADING, CURBING AND LAYING CEMENT SIDEWALKS, between 6th and 7th Avenues. 29TH WARD, SECTION 16.

NEWKIRK AVENUE—REGULATING, GRADING, CURBING AND LAYING CEMENT SIDEWALKS, between East 26th Street and Nostrand Avenue. 30TH WARD, SECTION 19. 70TH STREET—REGULATING, GRADING AND CURBING, from New Utrecht Avenue to a point about 130 feet east of 16th Avenue and from a point 160 feet east of 17th Avenue to 18th Avenue, and 70TH STREET—LAYING CEMENT SIDEWALKS from New Utrecht Avenue and 18th Avenue. 32D WARD, SECTION 12. ROCKAWAY AVENUE—REGULATING AND GRADING, from Hegeman Avenue to Stanley Avenue, and ROCKAWAY AVENUE—CURBING AND LAYING SIDEWALKS, between Hegeman and Vienna Avenues.

HERMAN A. METZ, Comptroller.

City of New York, August 18, 1908. (5378)



OFFICIAL LEGAL NOTICES



PUBLIC NOTICE IS HEREBY GIVEN to the owner or owners of all houses and lots, improved or unimproved lands affected thereby, that the following proposed assessments have been completed and are lodged in the office of the Board of Assessors for examination by all persons interested, viz.:

BOROUGH OF BROOKLYN.

List 11, No. 1. Constructing sewer basins at the southeast and southwest corners of Jerome street and Belmont avenue, all four corners of Jerome street and Sutter avenue, southwest corner of Jerome street and Sutter avenue, southwest corner of Jerome street and northwest corners of Jerome street and New Lots road.

List 18, No. 2. Constructing sewer in Dean street, between Ralph and Howard avenues.

List 34, No. 3. Constructing a sewer in Blake avenue, between Powell and Junius street, and a sewer basin at the southeast corner of Blake and Hopkinson avenues.

List 37, No. 4. Grading to the level of the

curb a lot lying on the north side of Forty-ninth street, between Sixth and Seventh avenues, known as Lot No. 49, in Block 776.

List 38, No. 5. Constructing a sewer in Maple street, between Rogers and Nostrand avenues.

List 44, No. 6. Constructing a sewer in Fifty-sixth street, between Seventh and Eighth avenues.

nues.

List 46, No. 7. Constructing a sewer in Sixty-first street, between Third and Fourth avenues, and in Third avenue, between Sixty-first and Sixty-second streets.

List 49, No. 8. Constructing a sewer in Fourth avenue, both sides, between Sixtieth and Sixty-first streets, with outlet sewer in Fourth avenue, westerly side, between Sixty-first and Sixty-fourth streets.

List 56, No. 9. Constructing a sewer in Eighty-third street, between Fourth and Fifth avenues.

nues. ist 60, No. 10. Constructing a sewer in cy-fifth street, between Seventh and Ninth

List 61, No. 11. Constructing a sewer in Fifth avenue, between Sixtieth and Sixty-fourth

All persons whose interests are affected by the above-named proposed assessments and who are opposed to the same, or either of them, are requested to present their objections, in writing, to the Secretary of the Board of Assessors, No. 320 Broadway, New York, on or before September 22, 1908, at 11 A. M., at which time and place the said objections will be heard and testimony received in reference thereto. For full particulars see City Record.

ANTONIO ZUCCA,
PAUL WEIMANN,
JAMES H. KENNEDY,
Board of Assessors.
WILLIAM H. JASPER,
Secretary,
No. 320 Broadway.
City of New York, Borough of Manhattan,
August 20, 1908.

REAL ESTATE RECORDS

Key to abbreviations:

1st.—Q. C. is an abbreviation for Quit Claim deed, i. e., a deed wherein all the right, title and interest of the grantor is conveyed, omitting all covenants and warranty.

2d.—C. a. G. means a deed containing Covenant against Grantor only, in which he covenants that he hath not done any act whereby the estate conveyed may be impeached, charged or encumbered.

3d.—B. & S. is an abbreviation for Bargain and Sale deed, wherein, although the seller makes no expressed consideration, he really grants or conveys the property for a valuable consideration, and thus impliedly claims to be the owner of it.

4th.—The street and avenue numbers given in these lists are, in all cases, taken from the insurance maps when they are not mentioned in the deeds. The numbers, it will occasionally be found,

do not correspond with the existing ones, owing to their having been no official designation made of them by the Department of Public Works.

5th.—The first date is the date the deed was drawn. The second date is the date of filing same. When both dates are the same, only one is given.

6th.—The figures in each conveyance, thus, 2:482—10, denote that the property mentioned is in section 2, block 482, lot 10.

7th.—It should also be noted in section and block numbers that the instrument as filed is strictly followed.

Sth.—A \$20,000—\$30,000 indicates the assessed value of the property, the first figures being for the lot only and the second figures representing both lot and building. Letter P before second figure indicates that the property is assessed as in course of construction. Valuations are from the assessment roll of 1907.

CONVEYANCES

Aug. 14, 15, 17, 18, 19 and 20.

(No. 8.)

BOROUGH OF MANHATTAN.

Bedford st, No. 44 s e cor Leroy st, 20x45, 4-sty brk tenement Leroy st, No. 38 and store.

Leroy st, No. 34, s s, 60 e Bedford st, 18x60, 3-sty brk tenement.

Leroy st, No. 36, s s, 45 e Bedford st, 15x20, 4-sty brk tenement.

Elizabeth Sherwood et al EXRS, &c, James D Sherwood to Frederick Rabbe. Aug 19. Aug 20, 1908. 2:586—5 and 6. A \$14, 500—\$18,500.

erick Rabbe. Aug 19. Aug 20, 1908. 2:586—5 and 6. A \$14,-500—\$18,500.

Broome st, No 263, s s, 50.2 w Orchard st, 25.3x87.7x25.2x87.7, 5-sty brk tenement and store. Albert London to Louis London. ½ part. All title. Q C. Apr 9. Aug 18, 1908. 2:413—42. A \$20,000—\$28,000 other consid and 100 Christopher st, No 114, s s, 113.8 e Bedford st, 22.3x74.11x22.3x 74.7, 3-sty frame tenement and store and 1-sty frame building in rear. Mort \$7,000.

Christopher st, No 116, s s, 85.1 e Bedford st, runs e 28.7 x s 74.7 x e 22.3 x s 5 x e 25.9 x s 11.10 x w 57.4 x n 8.4 x w 18 x n 95.8 to beginning, 3-sty frame brk front tenement and store, 2-sty frame tenement in rear and 2-sty frame stable. Mort \$14,000.

2-sty frame telements 1. \$14,000. \$14,000. John H Goetschius to Samuel Rodt and Jacob Lipman. Aug 11. Aug 19, 1908. 2:558—48 and 49. A \$31,000—\$34,000. other consid and 1.

Aug 19, 1908. 2:508—48 and 49. A \$31,000—\$34,000. other consid and 100 Church st, No 281 | s e cor White st, 25x75, 6-sty brk White st, Nos 35 and 37 loft and store building. Leonard st, No 86, s s, 205 w Broadway, 25x100, 5-sty brk loft and store building. Gardner Colby to Fanny C wife of and Gardner Colby of East Orange, N J. All title. B & S. July 30. Aug 14, 1908. 1:175—17. A \$50,000—\$72,000, and 173—23. A \$51,000—\$75,000.

000.

Cornelia st, Nos 24 and 26, s s, 147.3 e Bleecker st, 50.1x92.4, two 5-sty brk tenements. Amelia W Bischoff to Caroline Blattmach'r of Los Angeles, Cal. 1-3 part of all right, title and interest. B & S. Aug 10. Aug 18, 1908. 2:589—14 and 15. A \$21,000—\$34,000.

Fulton st, No 125, old No 117 ns, about 100 e Nassau st, 25x Ann st, No 44 | 118.11 to s s Ann st, 25.2x118.11, 5 and 6-sty brk loft and store building. 1:91—11. A \$79,800—\$95,000.

Pearl st, No 64 | s e s, 27.5 n w Coenties slip, 28.6x Water st, No 38, on map No 34 | 105 to n w s Water st, x28.6x 103.6, 5-sty brk loft and store building. 1:7—25. A \$26,500—\$38,000.

West End av | n e cor 89th st, runs n 2015 to s s 90th st runs n

West End av | n e cor 89th st, runs n 201.5 to s s 90th st, x e 89th st | 325 to w s Broadway, x s w 201.5 to n s 89th Broadway | st, x w 325 to beginning, several 1 and 2-sty 90th st | frame sheds and vacant. 4:1237—1. A \$625,000 90th st —\$625,000.

—\$625,000.

ohn st, No 26, s s, 50.3 w Nassau st, 25x64.2x25.2x64, 4-sty brk loft and store building. 1:65—25. A \$84,700—\$93,000.

W W and Frank L Evans heirs, &c, Thos W Evans to Thomas W Evans Museum and Institute Society. All title. Q C. Nov 6, Aug 15, 1908

Aug 15, 1908.

Grand st, Nos 484 to 488 n e cor Willett st, 50x62, 6-sty brk
Willett st | tenement and store. Samuel Weinstock et al to Esther Friedman, Borough of Richmond. Mort

\$91,150. July 16. Aug 18, 1908. 2:336-61. A \$46,000-\$85,000.

Hamilton terrace, Nos 39 to 49, e s, 364.9 n 141st st, 114.8x98.5, six 3-sty brk dwellings. Ashbel H Barney to Barney Estate Co. B & S. Mort \$78,000. Aug 18. Aug 19, 1908. 7:2050—107 to 111. A \$23,000—\$90,500. other consid and 100 Jumel pl, w s, 241.3 n 167th st, 125x100, vacant. Albert W Pross to Emily M Roemer, Brooklyn. C a G. All liens. Aug 17. Aug 18, 1908. 8:2112—41 to 45. A \$20,000—\$20,000. other consid and 100

Maiden lane, No 127 n s, 60.4 w Water st, 19.9x82.4, 6-sty brk Fletcher st, No 11 | loft and store building. Abraham Bijur et al HEIRS, &c, Isaac Bijur to Henrietta Bijur widow of Isaac Bijur. July 1. Aug 17, 1908. 1:70—6. A \$19,600—\$31,000.

Mangin st, No 67, w s, 125 s Rivington st, 25x99, 5-sty brk tenement. Harris Levy to Israel Dachs. Morts \$26,850. Aug 17. Aug 18, 1908. 2:323—21. A \$8,000—\$27,000. nomangin st, No 71, w s, 75 s Rivington st, 25x99, 5-sty brk tenement. Jacob Salmanowitz to Maurice Altman. All title. June 3. Aug 20, 1908. 2:323—19. A \$8,000—\$27,000. non Nichols pl, n w s, 775 s w on curve from Prescott av, runs n w 190 x s w 109 x e 188.3 to pl, x n 32.8 to beginning. Woodbury G Langdon to House of Rest for Consumptives. B & S. July 31. Aug 20, 1908. 8:2255—part lot 1. non Norfolk st, No 101, w s, 70.8 n Delancey st, 29.4x51.3, 6-sty brk tenement and store. Mary Saideman to Myer Kaplan. Mort \$29,600. Aug 20, 1908. 2:353—37. A \$15,000—\$25,000.

Prince st, No 179, n s, 75 e Sullivan st, 25x95.6, 3-sty brk tenement and store and 3-sty brk tenement in rear. Josephine Delano to Chas R Farnolo and Bernard F Golden. Mort \$8,000. July 24. July 27, 1908. 2:517—41. A \$17,000—\$20,000. Corrects error in issue of Aug 1, when grantees name was Ferdard F Golden. other consid and 100 Rivington st, No 235, s s, 25 e Willett st, 20x70, 3-sty brk tenement and store. Jacob Conner to Mary Weiser. ½ part. All title. Mort \$16,250. July 30. Aug 15, 1908. 2:338—52. A \$12,000—\$14,000. corrects and 100 Rivington st, No 345, s s, 68 e Mangin st, 22x75, 4-sty brk tenement. Harris Levy to Meyer Hochberger. Morts \$10,900 on this and other property. Aug 17. Aug 18, 1908. 2:323—50. A \$7,000—\$11,000. Washington st, Nos 710, w s, 87 n Perry st, 23x81x24x75.0.0

\$7,000—\$11,000. Washington st, Nos 710, w s, 87 n Perry st, 23x81x24x75.6, 3-sty brk tenement. Abram Vanderbilt to Geo Baum and Adam Cook. Mort \$3,250. Aug 20, 1908. 2:637—70. A \$7,500—\$8,500.

3d st E, No 218, s s, 140 e Av B, 24.9x100, 6-sty brk tenement and store; also all that portion of lot 432, map Leanderts Farm, which lies in rear of above. James Kalman to Sadie Epstein. Mort \$35,500. Aug 18, 1908. 2:385—14. A \$13,000—\$28,000. other consid and 10 10th st E, No 295, n s, 24 e Av A, 23.10x109.4, 4-sty brk dwelling. 4th st E, No 61, n s, 142.5 e Bowery, 25x96.2, 5-sty brk tenement and store and 2-sty frame extension. Julius Martinson to Sophie Martinson. All liens. Aug 18, 1908. 2:404—58. A \$16,000—\$23,000, and 460—56. A \$16,000—\$21,-000.

000.

10th st W, Nos 236 and 238, s e s, abt 155 e Hudson st, 50x95, 6sty brk tenement and store. Samuel Rodt et al to John H
Goetschius, of Montclair, N J. Mort \$45,000. Aug 18. Aug 19.
1908. 2:619—16. A \$24,000—\$—. other consid and 100
16th st W, No 347, n s, 225 e 9th av, 25x91.9, 5-sty brk tenement. Joseph Bruder to Gene wife of Joseph Bruder. B & S.
Aug 1. Aug 17, 1908. 3:740—10. A \$10,500—\$23,000. nom

August 22, 1908

THE GEORGE A. JUST CO. IRON WORK 239 VERNON AVENUE

LONG ISLAND CITY

NEW YORK

BUILDINGS

16th st W, No 130, s s, 375 w 6th av, 25x40.9x—x59.3, 3-sty brk dwelling. Joseph L Buttenwieser to Louise Fox. Mort \$10,000. Aug 4. Aug 19, 1908. 3:791—62. A \$9,500—\$11,000.

18th st E, No 530, s s, 183 w Av B, 43.9x92, 6-sty brk tenement and store. Jennie Goldstein to Celia Newkofsky and Rebecca Rosen. Mort \$45,500. Aug 15. Aug 20, 1908. 3:975—36. A \$10,500—\$44.000.

and store. Jennie Goldstein to Rosen. Mort \$45,500. Aug 15. Aug 20, 1908. 3:975—36. A \$10,500—\$44,000. nom

18th st W, Nos 334 and 338, s s, 395 w 8th av, 60x92, two 5-sty brk tenements. Mary F McKeon to Rev Wm H Murphy in trust for Anna M McKeon her daughter. B & S. Aug 13. Aug 14, 1908. 3:741—53 and 54. A \$30,000—\$70,000. nom

25th st W, No 262, the business thereat. Power of attorney. Frank Schroeder to Fred Schroeder. Aug 12. Aug 20, 1908.

26th st W, Nos 37 to 43. Power of attorney. The West Twenty-sixth St Corpn to Emanuel Pilpel. Aug 14. Aug 15, 1908. —

27th st W, No 141, n s, 475 w 6th av, 25x98.9, 3-sty brk tenement and 4-sty brk tenement in rear. Ida Margoles to the Junction Realty Co. Mort \$21,000. July 14. Aug 14, 1908. 3:803—15. A \$24,000—\$27,000. other consid and 100 28th st E, No 20, s s, 95 w Madison av, 25x98.9, 4-sty stone front dwelling. Arthur W Saunders to Louis J Ronder. Mort \$66,000. June 20, 1906. Aug 20, 1908. 3:857—66. A \$62,500 —\$72,000. other consid and 100 28th M 10 288 c s, 220 8 w 7th av, 24,10x98.9, 5-sty brk ten-

\$66,000. June 20, 1906. Aug 20, 1908. 3:857—66. A \$62,500 — \$72,000. other consid and 100 8th st W, No 228, s s, 320.8 w 7th av, 24.10x98.9, 5-sty brk tenement and store and 4-sty brk tenement in rear. Oscar Oestreicher to Oestreicher Realty Co, a corpn. ½ part. Mort ½ of \$23,000. July 28. Aug 15, 1908. 3:777—59. A \$12,500—\$18,500.

Sent. 1900. June 20, 1896. Aug 20, 1908. 3:801—10. A \$62,300 - \$72,000. 28h st W. No 228, st 2208 w 7th av, 24.10x88.9, 5-sty brk tear-crether to Oestreicher Realty Co., a corpt., 4, part. Mort ½ of \$23,000. July 28. Aug 15, 1908. 3:777—39. A \$12,500—28h st W. No 217, n s. 222.3 w 7th av, 24.10x8.9, 5-sty brk tenement and store and 3-sty brk tenement in rear. Isaac Oestreicher to Oestreicher Realty Co. Mort \$22,000. Aug 11. Aug 15, 1908. 3:778—30. 8 \$12,500—\$18,503. 4-sty brk tenement 18, 1918. 3:778—30. 8 \$12,500—\$18,503. 4-sty brk tenement 18, 1918. 3:778—30. 8 \$12,500—\$18,503. 4-sty brk tenement 18, 1918. 3:778—30. 8 \$12,500—\$13,503. 4-sty brk tenement 19, 1918. 3:778—30. 8 \$12,000. Aug 11. Aug 15, 1908. 3:779—74. A \$12,000—\$14,000. 218 st st R. No 15, n s. 138.9 w Madison av, 21,10x98.9, 4-sty stone front dwelling. Arthur W Saunders to Wm F Havemeyer, of 58rewsbury, N. J. Mort \$50,000. Apr 8. Aug 15, 1908. 3:750—74. A \$12,000—\$14,000. 218 st st R. No 5 to 10, st, x e 66 st s 88.9 x w 0.4½ x s 98.9 to n s \$18 st st, x w 63.7½ to beginning, 4-sty stone front hotel in 31st st and three 4-sty stone front dwellings in 32d st. Arthur W Saunders to Harry P Ward of Closter, N J. Mort \$300,000. Arthur W Saunders to Harry P Ward of Closter, N J. Mort \$300,000. At 357,600—\$428,000. and 240 s s. 375 e 80 other consid and 40 34387,600—\$428,000. and 240 s s. 375 e 80 other consid and 60 34387,600—\$428,000. and 240 s s. 375 e 80 other consid and 60 34587,600—\$428,000. and 240 s s. 375 e 80 other consid and 60 34587,600—\$428,000. and 240 s s. 375 e 80 other consid and 60 345 st st construction and 5 and 6 esty brk tenement. City Real Estate Co to the Stuyvesant Real Estate Co. B & 8 and C a G. Mort \$53,000. Art 19, 1908. 3:878—66 and 67. A \$94,000—\$110,000. 340 st. 30 s. 40 st. 30 s. 40 st. 30 s. 30

43d st E, Nos 204 to 210, s s, 105 e 3d av, 100x100.5, 4 and 5-sty brk loft and store buildings. Morts \$30,000.

81st st E, Nos 104 and 106, s s, 225 w Lexington av, 83x102.2, two 6 and 7-sty brk tenements. Morts \$70,000.

Thos J O'Reilly to Cornelius J Fyans. Aug 12. Aug 18, 1908. 5:1316—43. A \$44,000—\$60,000; 1509—66 and 68. A \$52,500—\$135,000.

\$135,000.

44th st W, No 161 (127), n s, abt 105 e Broadway, 21x100.5, 4-sty stone front dwelling.

44th st W, Nos 157 and 159, n s, 122.8 e Broadway, new line, 42x 100.5, two 5-sty stone front dwellings.

Release dower. Mary Levy to Abraham J Levy. Mar 17. Aug 18, 1908. 4:997—6 to 8. A \$135,000—\$148,000. nom 44th st W, Nos 157 and 159, n s, 122.8 e Broadway, new line, 42x 100.5, two 5-sty stone front dwellings. Abraham J Levy to Max Bumenthal. ½ of all title. Mort \$50,000. Aug 19. Aug 20, 1908. 4:997—7 and 8. A \$88,000—\$96,000. nom 44th st W, No 161 (127), n s, abt 100 e Broadway, 21x100.5, 4-sty stone front dwelling. Abraham J Levy to Max Blumenthal. ½ of all title. Aug 19. Aug 20, 1908. 4:997—6. A \$47,000—\$52,-000.

000.

2d st W, Nos 510 and 512, s s, 176.8 w 10th av, runs e 45 x s 105.5 x w 51.10 x —, two 2-sty fr tenements and stores and 2 and 3-sty brk tenements in rear. Mary Curran widow to John C Thompson. Mort \$12,500. Aug 17. Aug 18, 1908. 4:1080—38 and 39. A \$13,500—\$14,500. other consid and 100 3d st E, No 218, s s, 200 e 3d av, 20x90, 3-sty and basement stone front dwelling. Albert Freund et al to George Kilian. 4-5 parts. Mort \$8,000. Aug 12. Aug 19, 1908. 5:1326—40½. A \$7,000—\$10,000. other consid and 100 ame property. Rosie Lange to same. 1-5 part. All title, Mort

4-5 parts. Mort \$8,000. Aug 12. Aug 19, 1908. 5:1326—40½. A \$7,000—\$10,000. other consid and 100 Same property. Rosie Lange to same. 1-5 part. All title. Mort \$8,000. July 29. Aug 19, 1908. 5:1326. other consid and 100 Same property. Henry Freund to same. 1-5 part. All title. Mt \$8,000. July 27. Aug 19, 1908. 5:1326. other consid and 100 60th st E, No 102, s s, 20 e Park av, 20x100.5, 4-sty and basement stone front dwelling. Arthur W Saunders to Louis J Ronder. Mort \$30,500. May 17, 1905. Aug 20, 1908. 5:1394—71. A \$28,000—\$34,000. 100
60th st E, No 128, s s, 104.6 w Lexington av, 20.6x100.5, 4-sty and basement stone front dwelling. Arthur W Saunders to Louis J Ronder. Mort \$25,000. June 14, 1905. Aug 20, 1908. 5:1394—61. A \$26,000—\$30,000. other consid and 100 60th st E, No 130, s s, 84 w Lexington av, 20.6x100.5, 4-sty and basement stone front dwelling. Arthur W Saunders to Louis J Ronder. Mort \$25,000. June 14, 1905. Aug 20, 1908. 5:1394—61½. A \$26,000—\$30,000. other consid and 100 65th st E, Nos 320 and 328, s s, 275 e 2d av, 37.6x100, 6-sty brk tenement and store. William Bachrach et al to Robert Bader. All liens. Aug 17. Aug 20, 1908. 5:1439—40. A \$15,000—\$45,000. Same property. Robert Bader to William and Julius Bachrach. Morts \$—. Aug 18. Aug 20, 1908. 5:1439. other consid and 100 66th st W. No 225, n s, 375 w Amsterdam av, 25x100.5 5-sty brk

Morts \$——. Aug 18. Aug 20, 1908. 5:1439.

66th st W, No 225, n s, 375 w Amsterdam av, 25x100.5, 5-sty brk tenement and store. Bernhard Klein to Chas A Bruhns. Mort \$17,200. Aug 19. Aug 20, 1908. 4:1158—17. A \$6,000—\$14,-000.

66th st W, No 159, n s, 153.8 e Amsterdam av, 28.6x100.3x28.6x 100.1, 5-sty brk tenement. FORECLOS, July 22, 1908. Louis B Hasbrouck ref to Margt F Downey of New Rochelle, N Y. July 27. Aug 14, 1908. 4:1138—7. A \$17,000—\$30,000. 36,900 70th st W, No 146, s s, 417 w Columbus av, 16x100.5, 4-sty and basement stone front dwelling. Annie Davis to Pauline B Cossitt. All liens. Aug 17. Aug 19, 1908. 4:1141—49½. A \$11,500—\$21,500.

73d st E, Nos 233 and 235, n s, 125 w 2d av, 50x102.2, two 5-sty stone front tenements, store in No 233. Samuel Lehman to 174th Street Construction Co. Morts \$43.050. Aug 17. Aug 18, 1908. 5:1428—18 and 19. A \$22,000—\$46,000. other consid and 100 75th, at F. No 410, a s, 212, a late av 25x103.2 75th black to the consideration of the consid

74th st E, No 410, s s, 213 e 1st av, 25x102.2, 7-sty brk tenement and store. Morris Solot to Molka Korenblatt. All liens. Aug 14, 1908. 5:1468-40. A \$8,000-\$32,000.

ment and store. Morris Solot to Molka Korenblatt. All liens. Aug 14, 1908. 5:1468—40. A \$8,000—\$32,000.

77th st E, No 62, s s, 120 e Madison av, 12.6x102.2, 4-sty stone front dwelling. Gertrude I Gillig to Tina L wife Palmer Coolidge. Mort \$20,000. Aug 17. Aug 18, 1908. 5:1391—49½. A \$14,000—\$17,000.

80th st E, No 231, n s, 228.9 w 2d av, 25.5x102.2, 4-sty stone front tenement. Annie Bollet to Samuel Cohen. All liens. Aug 15. Aug 20, 1908. 5:1526—15. A \$10,500—\$14,000. nom 84th st W, No 153, n s, 175 e Amsterdam av, 32x102.2, 5-sty brk tenement. Rose Gutfreund to Robert Strahl, of Weehawken, N J. Mort \$29,000. July 15. Aug 20, 1908. 5:1215—8. A \$17,020—\$37,000.

84th st W, No 153, n s, 175 e Amsterdam av, 32x102.2, 5-sty brk tenement. Robert Strahl to Arnold Gutfreund, of Weehawken, N J. Mort \$29,000. July 20. Aug 20, 1908. 4:1215—8. A \$17,000—\$37,000.

84th st W, No 153, n s, 175 e Amsterdam av, 32x102.2, 5-sty brk tenement. Robert Strahl to Arnold Gutfreund, of Weehawken, N J. Mort \$29,000. July 20. Aug 20, 1908. 4:1215—8. A \$17,000—\$37,000.

84th st W, No 53, n s, 92.6 e Columbus av, 22x100.8, 4-sty and basement stone front dwelling. Rosalie Eckstein to Mark E Stroock. Mort \$25,000. Aug 17, 1908. 4:1200—5. A \$23,000—\$40,000.

88th st E, No 20, s s, 95 w Madison av, 25x100.8, 5-sty brk and stone tenement. Louise F Mahoney to Robert J Mahoney. ½ part. All title. Aug 18. Aug 19, 1908. 5:1499—60. A \$48,000—\$53,000.

88th st W, No 264, s s, 190 w Broadway, 18x100.8, 3-sty and Adalah L Lantzen, to Eugenia

88th st W basement

All title. Aug 18. Aug 19, 1908. 5:1439—60. A \$48,000—\$553,000. 100
Sth st W, No 264, s s, 190 w Broadway, 18x100.8, 3-sty and basement stone front dwelling. Adolph J Jantzen to Eugenia Wolf. Mort \$15,000. Aug 19, 1908. 4:1235—59. A \$8,000—\$16,000.

\$16,000.

88th st W, No 35. Power of attorney. Anna E O'Neil to Henry M O'Neil. June 16. Aug 19, 1908. 4:1202.

88th st W, No 35, n s, 429 e Columbus av, 21x100.8, 4-sty and basement stone front dwelling. Anna E O'Neil to Jane wife of Daniel Meenan. Mort \$20,000. Aug 18. Aug 19, 1908. 4:1202—18. A \$14,000—\$29,000. other consid and 100 89th st E, No 434, s s, 207 w Av A, 25x100.8, 5-sty stone front tenement. Matthew J Murphy and ano to Christian T Johannsen. Mort \$10,000. Aug 14. Aug 15, 1908. 5:1568—33. A \$8,000— \$19,000.

MAPLEDORAM & CO. REAL ESTATE BROKERS

Bay Ridge Property Our Specialty

FIFTH AVE. AND 79th ST. BROOKLYN, N. Y.

TELEPHONE, 724 BAY RIDGE

89th st E, Nos 408 and 410, s s, 106 e 1st av, 40x100.8, 6-sty brk tenement. Samuel Sheindelman to Theresa J Feinberg. Mort \$49,000 and all liens. Aug 15. Aug 17, 1908. 5:1568—43. A \$14,000—\$50,000. non 95th st E, Nos 309 and 311, n s, 175 e 2d av, 37.6x100.8, 6-sty brk tenement and store. E H Ogden Lumber Co to Selma Alexander. Undivided right, title and int. July 20. Aug 20, 1908. 5:1558—8. A \$11,000—\$44,000. non Same property. Geo E Roche to same. Undivided right, title and int. July 20. Aug 20, 1908. 5:1558. non Same property. all of. Selma Alexander to Bertha Weindrug, July 22. Aug 20, 1908. 5:1558. other consid and 100 95th st E, Nos 309 and 311, n s, 175 e 2d av, 37.6x100.8, 6-sty brk tenement and store. John Holl to Selma Alexander. All title. July 18. Aug 20, 1908. 5:1558—8. A \$11,000—\$44,000. non 95th st E, Nos 309 and 311, n s, 175 e 2d av, 37.6x100.8, 6-sty brk tenement and store. Bertha Weindrug to Antonio Ferrara and Eduardo D'Argenio. Aug 20, 1908. 5:1558—8. A \$11,000—\$44,000. non 99th st E, Nos 311 and 313, n s, 217 e 2d av, 37x100.11, 6-sty brk tenement and store. Belease mort. Albert Grane to Thomas

brk tenement and store. Bertha Weindrug to Antonio Ferrara and Eduardo D'Argenio. Aug 20, 1908. 5:1558—8. A \$11,000 — \$44,000. nom 99th st E, Nos 311 and 313, n s, 217 e 2d ay, 37x100.11, 6-sty brk tenement and store. Release mort. Albert Crane to Thomas Graham of Brooklyn. Aug 11. Aug 17, 1908. 6:1671—10. A \$9,000—P \$35,000. 8,527.03 100th st E, No 407, n s, 137.1 e 1st ay, 37.1x100.11, 6-sty brk tenement and store. Berliner & Greenberg to Selma Alexander. Mort \$41,000 and all liens. Aug 12. Aug 14, 1908. 6:1694—7. A \$7,500—\$42,000. other consid and 100 102d st E, No 164, s s, 245 w 3d ay, 20x100.11, 4-sty stone front tenement. Sarah Rabinowitz to David Robins. Mort \$11,150. Aug 19, 1908. 6:1629—46½. A \$6,500—\$9,000. 100 104th st E, Nos 234 to 240, s s, 175 w 2d ay, 75x100.11, two 6-sty brk tenements and stores. Annie Lipman to Hyman and Jacob Peskin. Mort \$86,375. July 23. Aug 14, 1908. 6:1653—32 and 33. A \$24,000—\$90,000. other consid and 100 104th st E, No 75, n s, 49.3 w Park ay, 15.8x75, 3-sty stone front dwelling. Samuel Bach to Pauline Blum. Aug 11. Aug 14, 1908. 6:1610—34½. A \$4,500—\$6,000. nom 108th st E, No 2B, s s, 84 e 5th ay, 26x100.11, 6-sty brk tenement and store. Release mort. Pincus Lowenfeld and Wm Prager to Chas I Weinstein. June 30. Aug 19, 1908. 6:1613—68. A \$13,500—\$34,000. nom 108th st E, No 2B, s s, 84 e 5th ay, 26x100.11, 6-sty brk tenement and store. Chas I Weinstein to Abram Roseman. Mort \$30,000. June 12. Aug 19, 1908. 6:1613—68. A \$13,500—\$34,000. other consid and 100 108th st E, No 2B, s s, 84 e 5th ay, 26x100.11, 6-sty brk tenement and store. Chas I Weinstein to Abram Roseman. Mort \$30,000. June 12. Aug 19, 1908. 6:1613—68. A \$13,500—\$34,000. other consid and 100 103th st E, No 2B, s s, 84 e 5th ay, 25x100.11, 4-sty brk tenement and store. Graziano Scornavacche to Bartolo Scornavacche. Mort \$10,000. April 14. Aug 17, 1908. 6:1657—29. A \$7,000—\$15,000. Aug 13. Aug 15, 1908. 7:1885—24 to 26. A \$39,000. 113th st W, n s, 150 w Amsterdam av, 75x100.11, vacant. Silverson & London Const

--\$10,000. no 115th st E, No 167½, n s, 245 w 3d av, 12.6x100, 3-sty stone front dwelling. FORECLOS, July 22, 1908. K Henry Rosenberg to Bertha Fibel. Aug 20, 1908. 6:1643-27. A \$4,000-\$6,000.

Bertha Fibel. Aug 20, 1908. 6:1643-27. A \$4,000-\$6,000.
5,700

116th st W, Nos 60 and 62, s s, 125 e Lenox av, 50x100.11, 2-sty brk store. Jesse W Ehrich et al to Sixty-two West One Hundred Sixteenth Street, a corpn. Mort \$35,000. Aug 11. Aug 14, 1908. 6:1599-65. A \$30,000-\$35,000. other consid and 500 117th st E, No 419, n s, 212.9 e 1st av, 18.9x100.11, 4-sty brk tenement. Rosa wife of Wm Klinkel, Jr, to Domenico Sebastiano. Mort \$5,000. Aug 17. Aug 19, 1908. 6:1711-10. A \$3,700-\$8,200.

117th st W, Nos 19 and 21, n s, 300.3 w 5th av, 34.8x100.11, 6-sty brk tenement. Orazio La Cagnina to Tommaso Loforte. Mt \$54,000. Aug 14. Aug 15, 1908. 6:1601-24. A \$18,000-\$49,000.

117th st E, No 416, s s, 194 e 1st av, 25x100.10, 5-sty brk tenement and store. Isaac Popkin et al to Jacob Tepper. All liens. July 31. Aug 14, 1908. 6:1710-42. A \$5,000-\$25,000. 100 117th st W, Nos 38 and 40, s s, 375 e Lenox av, 50x100.11, two 5-sty brk tenements. Richard Bullwinkle to Mary A Young. Mts \$50,000. Aug 13. Aug 14, 1908. 6:1600-55 and 56. A \$26,000 -\$48,000.

18th st W, No 303, n s, 100 w 8th av, 25x100.11, 5-sty brk tenement. Alfred L M Bullowa et al to Gertrude K Brennan, of Orange, N J. Mort \$22,000. July 16. Aug 14, 1908. 7:1945-28. A \$11,000-\$23,000.

118th st W, No 303, n s, 100 w 8th av, 25x100.11, 5-sty brk tenement. Gertrude K Brennan to Alfred L M, Arthur M and Ernest E M Bullowa. Aug 7. Aug 14, 1908. 7:1945-28. A \$11,000-\$23,000.

118th st E, No 158, s s, 252.3 w 3d av, 25x100.11, 5-sty brk tenement. Edwd Zipser to Samuel Zipser. ½ part of all right title.

\$23,000. nom
118th st E, No 158, s s, 252.3 w 3d av, 25x100.11, 5-sty brk tenement. Edwd Zipser to Samuel Zipser. ½ part of all right, title and interest. May 8, 1905. Aug 20, 1908. 6:1645—47. A \$10,000—\$17,000.

120th st W, No 145, n s, 199 e 7th av, 19x100.11, 3-sty and basement stone front dwelling. Abram Roseman to Pincus Lowenfeld and Wm Prager. Mort \$12,000. July 1. Aug 18, 1908. 7:-1905—10. A \$9,100—\$18,500. nom
121st st E, No 434, s s, 224.4 w Pleasant av, 25.8x100.11, 5-sty brk tenement. Isidore Rubin to Martin J Rubin. ½ part. Mort \$24,500. Aug 11. Aug 18, 1908. 6:1808—36. A \$5,000—\$22,-000. other consid and 100

122d st W, No 137, n s, 408.4 w Lenox av, 16.8x100.11, 4-sty and basement brk dwelling. Release curtesy life interest, etc. Ellis Goldberg to Claire Goldberg. Q C. All title. Aug 9, 1906. Aug 17, 1908. 7:1907—15. A \$8,000—\$18,000. nom 122d st E, No 329, n s, 275 w 1st av, 21x100.11, 4-sty brk tenement. Freehold Construction Co to Annie Flynn. Mort \$7,500. Aug 13. Aug 17, 1908. 6:1799—16. A \$4,500—\$9,000. other consid and 100

122d st W, No 237, n s, 335 w 7th av, 14.6x100.11, 3-sty and basement stone front dwelling. Abraham S Gilbert to Rebecca Gilbert. Mort \$10,500. Feb 1, 1906. Aug 19, 1908. 7:1928—18. A \$6,600—\$10,000.

A \$6,600—\$10,000.

122d st E, No 112, s s, 112.6 e Park av, 27.6x100.11, 4-sty brk tenement. Mary Falkenberg to Marie Jung, of La Crosse, Wis, party 1st part, reserves life estate. Morts \$13,000. Aug 11.

Aug 14, 1908. 6:1770—67. A \$7,700—\$19,000. noi 127th st W, Nos 145 and 147, n s, 150 e 7th av, 50x99.11, 6-sty brk tenement. W & B Realty Co to Esther Geiger. Mort \$75,000. Aug 17. Aug 19, 1908. 7:1912—8. A \$22,000—\$80,000.

Aug 17. Aug 19, 1908. 7:1912—8. A \$22,000—\$80,000.

129th st W, No 56, s s, 135 e Lenox av, 27.6x99.11, 5-sty stone front tenement. Ida Posternack widow to Fani Shiffman. All liens. Aug 19. Aug 20, 1908. 6:1726—66. A \$11,000—\$28,000.

129th st W, No 56, s s, 135 e Lenox av, 27.6x99.11, 5-sty stone front tenement. Matilda S Jones to Ida Posternack. Aug 13. Aug 15, 1908. 6:1726-66. A \$11,000-\$28,000. noi 135th st W, No 506, on map Nos 510 and 512, s s, 191.8 w Amsterdam av, 45.10x99.11, 6-sty brk tenement. Salvage Realty Co to Terrace Holding Co. Morts \$63,269.14. Aug 13. Aug 14, 1908. 7:1988-40. A \$18,500-P \$30,000.

1908. 7:1988—40. A \$18,500—P \$30,000.

other consid and 100
135th st W, No 508, on map Nos 514 and 516, s s, 237.6 w Amsterdam av, 45.10x99.11, 6-sty brk tenement. Salvage Realty Co to Chas E Murtha, Jr. Morts \$61,269.14. Aug 13. Aug 14, 1908. 7:1988—42. A \$18,500—P \$30,000. other consid and 100
135th st W, No 510, on map Nos 518 and 510, s s, 283.4 w Amsterdam av, 45.10x99.11, 6-sty brk tenement. Salvage Realty Co to Curb Realty Co. Morts \$61,269.14. Aug 13. Aug 14, 1908. 7:1988—44. A \$18,500—P \$30,000. other consid and 100
135th st W, No 512, on map Nos 522 and 524, s s, 329.2 w Amsterdam av, 45.10x99.11, 6-sty brk tenement. Salvage Realty Co to Empire City Wood Working Co. Morts \$61,269.14. Aug 13. Aug 14, 1908. 7:1988—46. A \$18,500—P \$30,000.

other consid and 100

other consid and 100

135th st W, No 504, on map Nos 506 and 508, s s, 145.10 w Amsterdam av, 45.10x99.11, 6-sty brk tenement. Salvage Realty Co to Jacob Moersfelder. Morts \$63,269.14. Aug 13. Aug 14, 1908. 7:1988—39. A \$18,500—P \$30,000.

1908. 7:1988—39. A \$18,500—P \$30,000.

other consid and 100

135th st W, No 502, on map Nos 502 and 504, s s, 100 w Amsterdam av, 45.10x99.11, 6-sty brk tenement. Salvage Realty Co to J & N Realty Co. Morts \$63,269.14. Aug 13. Aug 14, 1908.

7:1988—37. A \$18,500—P \$30,000. other consid and 100

138th st W, No 613, n s, 224.6 w Broadway, 15.6x99.11, 3-sty brk dwelling. Alice wife Oscar L Richard to Leonard W Simmons. Mort \$7,500. Dec 31, 1907. Aug 18, 1908. 7:2087—22. A \$4,500—\$10,500.

140th st W, No 66, s s, 110 e Lenox av, 40x100, 6-sty brk tenement. Orazio La Cagnina to Tommaso Loforte. Morts \$55,000. Aug 14. Aug 15, 1908. 6:1737—66. A \$11,500—\$48,000. other consid and 100

145th st W, n s, 470 w 7th av, 205x99.11, vacant. Mary E Haynes to W & B Realty Co. All liens. May 13. Aug 19, 1908. 7:-2031—5. A \$——\$——. other consid and 100

145th st W, Nos 227 to 237, n s, 350 w 7th av, 120x99.11, three 6-sty brk tenements and stores. W & B Realty Co to Esther Geiger. Mort \$120,000. Aug 15. Aug 19, 1908. 7:2031—14 to 17. A \$———\$——. brk te.

Geiger. 17. A \$-145th st W

Aug 14, 1908. 8:2153—10. A \$30,000—\$30,000.

other consid and 100

Amsterdam av, Nos 1109 to 1115, e s, 40.11 s 115th st, 80x100, two 6-sty brk tenements and stores. The Polstein Realty and Construction Co to Frederick-Ruth Realty Co, a corpn. Mort \$132,800. July 15. Aug 20, 1908. 7:1867—40 and 41. A \$58,-000—P \$80,000.

Bowery, No 230 | s w cor Prince st, 27.8x99.7x48.9x100.3, 6-sty Prince st, Nos 2 to 6 | brk tenement and store. Emil Adler to Leopold Adler. 1-3 part. All title. All liens. July 28. Aug 18, 1908. 2:492—19. A \$55,000—\$105,000. other consid and 100

Broadway, No 3147, w s, 100 n 125th st, 41.8x100, 6-sty brk tenement and store. Charles Kaiser et al to Cora B Redfern. Morts \$54,500. Aug 13. Aug 17, 1908. 7:1993—79. A \$25,000—\$65,000.

Broadway, No 3151, w s, 183.3 n 125th st, 41.7x100, 6-sty brk

Broadway, No 3151, w s, 183.3 n 125th st, 41.7x100, 6-sty brk tenement and store. Charles Kaiser to Wm B Mott. All title. Mort \$54,500. Aug 13. Aug 14, 1908. 7:1993—82. A \$25,-000—\$65,000. Mort \$54,500 000—\$65,000.

Columbus av, No 975 s e cor 108th st, 25.11x100, 5-sty brk ten108th st, No 74 ement and store. Laura E Simonson to
Thomas Reynolds. Mort \$48,000. Aug 14. Aug 15, 1908. 7:1843-61. A \$25,000-\$51,000. other consid and 100

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TELEPHONE, 1835-6 CHELSEA

Lenox av, No 371, w s, abt 55 s 129th st, -x-, all of, 4-sty brk tenement and store.

48th st W, No 114, s s, abt 165 w 6th av, -x-, ½ part, 4-sty stone front dwelling.

Revocation of trust deed dated Aug 11, 1908. Julia D J de Vado to United States Trust Co of N Y, in trust. Aug 17. Aug 18, 1908. 7:1913-34. A \$7,500-\$13,000. 4:1000-39. A \$30,000-\$32,000.

000—\$32,000.

Madison av, No 1483, e s, 25.5 s 102d st, 25.2x106.5x25.9x111.10,
5-sty brk tenement and store. Marcus Rosenthal to Isaac Silberberg. Mort \$35,000. Aug 13. Aug 15, 1908. 6:1607—50.

A \$17,000—\$30,000.

Madison av, No 1439, e s, 54.10 n 99th st, 27x100, 5-sty brk tenement and store. Thomas Reynolds to Laura E Simonson.

Morts \$27,500. Aug 13. Aug 15, 1908. 6:1605—22. A \$21,000—\$30,000.

Park av | n e cor 104th st, 100.11x25, 5-sty stone front 104th st, No 101 | tenement and store. Samuel Bach to Fani Shiffman. Morts \$33,000. Aug 11. Aug 15, 1908. 6:1632—1. A \$15,000—\$27,000. Park av | n e cor 104th st 100.11 27

A \$15,000—\$27,000.

Park av | n e cor 104th st, 100.11x25, 5-sty stone front 104th st, No 101 | tenement and store. Bessie Bach to Fani Shiffman. Mort \$35,000. Aug 13. Aug 15, 1908. 6:1632—1.

A \$15,000—\$27,000.

Park av, No 1260 | n w cor 97th st, 100.11x100, three 6-sty brk 97th st | tenements, stores on cor. FORECLOS, July 20, 1908. Louis F Doyle ref to David Kidansky, N Y, and Louis J Levy, of Spring Valley, N Y. Aug 20, 1908. 6:1603—33. A \$55,000—\$—. \$15,000 over and above morts of 142,60 Park av, No 1712, w s, 24.11 s 120th st, runs w 30 x s 0.2 x w 59.11 x s 25.2 x e 89.11 to av, x n 25.5 to beginning, 5-sty brk tenement and store. Harris Schwartz to Hannah Ruderman. B & S. All liens. Aug 19. Aug 20, 1908. 6:1746—39. A \$7,000—\$21,000. 142 600

tenement and store. Harris Schwartz to Hannah Ruderman. B & S. All liens. Aug 19. Aug 20, 1908. 6:1746—39. A \$7,000—\$21,000. nor Park av, No 61, e s, 49.7 s 38th st, 24.7x80, 4-sty stone front dwelling. Rapid Transit Subway Construction Co to Geo A Plimpton. Mort \$59,000. Aug 12. Aug 19, 1908. 3:893—91. A \$51,000—\$65,000. other consid and 10. Riverside Drive, No 94, e s, 64.2 s 82d st, runs e 70.3 x n 15.6 x w 26.6 x n w 6.3 x w 47 to drive, x s 21.2 to beginning, 4-sty and basement stone front dwelling. Charles Bruno to Wm H Gentzlinger. Mort \$27,000. Aug 17, 1908. 4:1244—92. A \$18,-000—\$30,000. St Nicholas av, No 1543, w s, 15.10 n 187th st, 20x80, 3-sty brk dwelling. Frank R Adams to Maude T Mason. Morts \$9,000. Aug 11. Aug 19, 1908. 8:2168—22. A \$6,000—\$9,000. other consid and 10. Aug 11. Aug 19, 1908. 8:2168—22. A \$6,000—\$9,000. other consid and 10.

St Nicholas av, No 1543, w s, 15.10 n 187th st, 20x80, 3-sty brk dwelling. Power of attorney. Frank R Adams to John B White. July 16. Aug 19, 1908. 8:2168-22. A \$6,000-\$9,000.

1st av, Nos 1026 to 1030 n e cor 56th st, 60x94, three 4-sty 56th st, No 401 stone front tenements and stores. Chas Geiger to Saml Wacht. ½ part. Mort \$44,500. Aug 15. Aug 19, 1908. 5:1368-1 to 2. A \$28,000-\$45,000. nom 1st av, No 1108, e s, 75.5 n 60th st, 25x100, vacant. Samuel Wacht to Charles Geiger and Solomon Braverman. ½ part. Mort \$9,000. Aug 15. Aug 19, 1908. 5:1455-4. A \$10,000 cher consid and 100 2d av. No 697, w s, 78.7 a 20th of 10,000. -\$10,000. Aug 19. Aug 19, 1908. 5:1455-4. A \$10,000 other consid and 100 day, No 697, w s, 78.7 s 38th st, 19.6x80, 4-sty brk tenement and store. Aristides Martinez to Thos P J Delehanty. Mort \$8,000. Aug 19. Aug 20, 1908. 3:918-31. A \$10,000-\$12.-2d av, No 1894

2d av, No 697, w s, 78.7 s 38th st, 19.6x80, 4-sty brk tenement and store. Aristides Martinez to Thos P J Delehanty. Mort \$8,000. Aug 19. Aug 20, 1908. 3:918—31. A \$10,000—\$12,500. other consid and 100. 2d av, No 1894| s e cor 98th st, 25x100, 5-sty brk tenement 98th st, No 300| and store. Benjamin or Benj V Abraham to Isaac S Heller. B & S. Mort \$26,200. Aug 14. Aug 15, 1908. 6:1669—49. A \$14,000—\$32,000. other consid and 100. 2d av, No 2282 | n e cor 117th st, 25x81, 5-sty stone front tene-117th st, No 301| ment and store. Elias Feinberg to Abraham Michaels. Mort \$31,000. Aug 17. Aug 18, 1908. 6:1689—1. A \$13,000—\$28,000. other consid and 100. 2d av, No 1883, w s, 24.11 n 97th st, 25x100, 5-sty brk tenement and store. Isidore Rubin to Martin J Rubin. ½ part. Mort \$23,000. Aug 11. Aug 18, 1908. 6:1647—22. A \$12,000—\$23,000. 2d av, No 2057, w s, 50.6 s 106th st, 25x73, 4-sty stone front tenement and store. Henry Friedman to Morris Lang. Mort \$15,000. Aug 14. Aug 18, 1908. 6:1655—26. A \$7,500—\$16,000. other consid and 100 ad av, Nos 371 and 373 | s e cor 27th st, 49.10x85, 7 and 8-sty 27th st, Nos 200 and 202| brk tenement and store. 3d av, No 369, e s, 49.10 s 27th st, 24.2x85, 7-sty brk loft and store building. 27th st, Nos 204 to 208, s s, 85 e 3d av, 75x98.8, 5 and 6-sty brk loft and store building. 26th st, No 209, n s, 110 e 3d av, runs e 25 x n 98.8 x w 27 x s 49.4 x e 2 x s 49.4 to beginning, 6-sty brk loft and store building. August Oppenheimer to Minnie J Robinson. All title. B & S.

August Oppenheimer to Minnie J Robinson. All title. B & S. Aug 14. Aug 15, 1908. 3:907—56, 57, 54 and 8. A \$110,000—\$262,000.

\$252,000.
4th av, Nos 51 to 59 | n w cor 17th st, runs w 127.7 x n 109 x e
17th st No 39 | 49 x n 33 x e 78.7 to w s 4th av, x s 142
to beginning, 5-sty brk and stone hotel. The Alliance Realty
Co to Everett Investing Co, a corpn. 4 part. Morts \$713,000.
Aug 5. Aug 17, 1908. 3:846—33. A \$475,000—\$650,000.

Same property. Century Investing Co to same. ½ part. Morts \$713,000. Aug 5. Aug 17, 1908. 3:846. other consid and 100 Same property. Star Holding Co to same. ½ part. Mort \$713,000. Aug 5. Aug 17, 1908. 3:846. other consid and 100 Same property. Star Holding Co to same. ¼ part. Mort \$713,000. Aug 5. Aug 17, 1908. 3:846. other consid and 100 5th av, Nos 1263 to 1269 | s e cor 108th st, 100.11x110, three 6-108th st, Nos 2A and 2B | sty brk tenements and stores. Release judgment. Lester C Lockwood to Chas I Weinstein. Q C. Aug 11. Aug 19, 1908. 6:1613—68 to 71. A \$103,500—P \$199,-000.

Aug 11. Aug 19, 1908. 6:1613—68 to 11. A \$103,500—P \$199,5000.

5th av, Nos 1263 to 1269| s e cor 108th st, 100.11x110, three 6-108th st, Nos 2A and 2B| sty brk tenements and stores. Release judgment. Isidor Pollock to Chas I Weinstein. Aug 17.

Aug 19, 1908. 6:1613—68 to 71. A \$103,500—P \$199,000. nom 5th av, No 2100| n w cor 129th st, 99.11x110, 6-sty brk tene-129th st, No 1 | ment. Charles Wolfson to Emile Utard. Correction deed. Mort \$180,000. July 11. Aug 15, 1908. 6:1727

—33. A \$85,000—P \$150,000.

6th av, No 818, e s, 130 s 47th st, 20x90.2, 4-sty brk tenement and store. Release judgment. Mary B Slevin to Catherine E Smith. All title. Aug 11. Aug 19, 1908. 5:1262—3. A \$30,-000—\$34,000.

000—\$34,000.

Same property. Release judgment. Mary B Slevin to same. All title. Aug 11. Aug 19, 1908. 5:1262.

6th av, No 818, e s, 130 s 47th st, 20x90.2, 4-sty brk tenement and store. Release mort. Mary B Slevin to Cath E Smith. Aug 11. Aug 18, 1908. 5:1262—3. A \$30,000—\$34,000.

Same property. Release mort. Same to same. Aug 11. Aug 18, 1908. 5:1262.

nom

Same property. Release mort. Mary B Slevin to same. Aug 11.

Aug 18, 1908. 5:1262.

Same property. Release mort. Same to same. Aug 11.

1908. 5:1262. Same property. 1908. 5:1262.

Same property. Bridget D and Philip A Fitzpatrick EXRS John
J Fitzpatrick to same. All title. Confirmation deed. Aug 17.
Aug 18, 1908. 5:1262.
Same property. Bridget D Fitzpatrick to same. Q C. Aug 17.
Aug 18, 1908. 5:1262.
Same property. Bridget D Fitzpatrick as TRUSTEE Philip A Fitzpatrick to same.

Aug 18, 1908. 5:1262.

Same property. Bridget D Fitzpatrick as TRUSTEE Philip A Fitzpatrick to same. B & S. All title. Confirmation deed. Aug 17. Aug 18, 1908. 5:1262.

Same property. Philip A Fitzpatrick to same. Q C and Confirmation deed. Aug 17. Aug 18, 1908. 5:1262.

Same property. Bridget D Fitzpatrick EXTRX and TRUSTEE Philip Fitzpatrick to same. Aug 17. Aug 18, 1908. 5:1262.

68,00 68,00 and store. Release mort. Mary B Slevin to Cath E Smith. Aug 11. Aug 18, 1908. 5:1262—3. A \$30,000—\$34,000. nor 8th av, No 2431, w s, 50.6 n 130th st, 25.6x100, 5-sty brk tenement and store. Thomas Scholes to Florence Rittwagen. Mort \$23,000. Aug 20, 1908. 7:1958—8. A \$14,000—\$21,000. other consid and 10

10th av, No 738, e s, 49.6 n 50th st, 25.8x73, 4-sty brk tenement and store. Frank Battenhausen et al to Patrick J Cronin. Mort \$18,000. Aug 15. Aug 20, 1908. 4:1060—3. A \$12,500—\$18,-000.

MISCELLANEOUS.

Power of attorney. Margt B Monahan to Henry N Tifft. Jan 15. Aug 18, 1908.

Power of attorney. Anna Weiler to Henry Seib. July 14. Aug 14, 1908.

ower of attorney. Sofia Raab to Samuel Raab. Aug 1. Aug 14, 1908.

BOROUGH OF THE BRONX.

Under this head the * denotes that the property is located in the new Annexed District (Act of 1895).

*Bayard st, w s, 200 s 236th st, 25x100. Joseph L Zoetzl to J C Julius Langbein. Mort \$150. Aug 12. Aug 15, 1908. nom Clinton pl, No 78 | s s, 366 w Grand av, 52.8 to e s Aqueduct av, Aqueduct av | x101.4x69.8x100, 2-sty frame dwelling and vacant. Release mort. Lambert S and Abraham C Quackenbush to Michael J Keenan. July 31. Aug 14, 1908. 11:3207. nom

*East st, s s, at e s land Chas E Mead, runs s 100.4 x e 111.7 x n 98.9 to st, x w 114.1 to beginning, City Island. Wm J Bush to Mary A R wife of Wm J Bush. Aug 12. Aug 18, 1908. nor *Fillmore st, e s, 101 s Morris Park av, 25x100x—x101. Henrietta Schmidt to Louis C Pils. Q C. Aug 18. Aug 19, 1908.

s, 231 n Morris Park av, 25x95. Frank Jenik to ½ part. All title. All liens. Aug 15. Aug 17. other consid and 100 Silver st. n

John Jenik. ½ part. All title. The other consid and 100 1908.

Silver st, n s, 25 w Roselle st, 25x98.11x25x97.1, Westchester. Raymond W Coble to Rosetta M Coble. Q C. All liens. July 22. Aug 17, 1908.

Van Buren st, e s, 187.6 s Morris Park av, 75x100. Bertha Jacobowitz to Sadie Jacobowitz. Mort \$11,000. Aug 13. Aug 17, 1908.

1908.

100 may 150 to beginning, Throggs *Willow Lane road, leading to Pelham, adj land of Thomas Mont-gomery, runs s 30 x w 150 x n 30 x e 150 to beginning, Throggs

Neck.

Willow Lane, leading from Throggs Point to Pelham Bridge, 30 s land of Loretta Clapp, runs w 150 x n 30 x e 150 x s 30 to be-Julia Boes to Maud A Boes. ½ part. All title. Subject to life estate of Albert S Clapp. Mort \$600. Aug 15. Aug 18, 1908.

nom

*Willow lane, s s, 75 e Robin av, 25x95.1x25x95.11, Tremont Terrace. Gaetano Adinolfi to Stella Sabatella. Q C. Mar 25. Aug 14, 1908.

*5th st s s, 255 e Av D, 50x216 to n s 4th st, Unionport. Frances 4th st R Lithgow to Ella G Halsey. 1-5 part. B & S. Mar 23. Aug 14, 1908.

*12th st, s s, 380 e Av D, 25x100, Unionport. Mort \$4,000. Valued at \$7,350.. CONTRACT TO EXCHANGE for Prospect av, e s, 125 n 183d st, 50x104x50x107.6, vacant. Mort \$2,150. Valued at \$6,500. Philip Kaufman with John Cook. Aug 7. Aug 19, 1908. 11:-3114 and *.

Philip Kaufman with John Cook. Aug 1.

Philip Kaufman with John Cook. Aug 1.

13114 and *.

137th st, Nos 622, old No 902, s s, about 245 w Cypress av; also 600 w Home av, 25x100, 4-sty brk tenement. Ben Cohen to Ignaz Luft. Mort \$10,000. Aug 15. Aug 19, 1908. 10:2549.

other consid and 16

Ignaz Luft. Mort \$10,000. Aug 15. Aug 19, 1998. 10:2549.

other consid and 100
148th st, No 461, n s, 115 w Brook av, 25x99.11, 4-sty brk tenement. Wm J Muller of Brooklyn to Mary E Muller, of Orange, N J. B & S. Oct 10, 1906. Aug 19, 1908. 9:2293. nom
148th st, No 461, n s, 115 w Brook av, 25x99.11, 4-sty brk tenement. Mary E Muller to James A Collins. Mort \$11,500. Aug 15. Aug 19, 1908. 9:2293. other consid and 100
157th st, n s, 198 w Courtlandt av, a strip, runs n 1¾ to n s Prospect st, x w 25 x s 1¾ to n s 157th st, x e 25 to beginning. Charles Schied EXR Caspar Schied to Annie Berner. July 30. Aug 17, 1908. 9:2417.

158th st, Nos 421 and 423, n s, 150 w Elton av, 50x100, with all title to land in front of above and bet n s Milton st, 6-sty brk tenement. Chas H Zumbuehl to Edward Riegelmann. Mort \$43,500. Aug 14. Aug 15, 1908.

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166th st, No 971, n s, 100 w Union ay, old line, 75x150, except part for st, 2-sty frame dwelling and vacant. FORECLOS, Aug 6, 1908. Clarence R Freeman ref to City Real Estate Co. Aug 14. Aug 18, 1908. 10:2671. for st, 2-sty frame dwelling and vacant. FORECLOS, Aug 6, 1908. Clarence R Freeman ref to City Real Estate Co. Aug 14. Aug 18, 1908. 10:2671. 10,100
174th st, Nos 492 to 496, s s, 37.6 w Bathgate av, 76.11x100.2x76.11 x100.3, two 6-sty brk tenements and stores. 174th Street Construction Co to Samuel Lehman. Morts \$74,000. Aug 17. Aug 18, 1908. 11:2915. other consid and 100 Same property. Samuel Lehman to Abraham H Vogel. Morts \$74,000. Aug 17. Aug 18, 1908. 11:2915. other consid and 100 179th st, No 232, s s, 80.2 w Anthony av, 25x69.9x25x68.6, 2-sty frame dwelling. Amelia Schlesinger to Eliz J Riley. Mort \$5,750. Aug 14. Aug 20, 1908. 11:2811. other consid and 100 179th st, No 803, n s, 24 e Mapes av, 21x103, 2-sty frame dwelling. John A Steinmetz to William Steinmetz. Mort \$5,000. Aug 13. Aug 20, 1908. 11:3108. other consid and 140 194th st, No 342 (674), s s, 22.1 e Marion av, 18x80.9x18x80.2, 2-sty frame dwelling. Wm H Wright to Helena Rheinish. Mort \$4,750 and all liens. July 1. Aug 18, 1908. 12:3276. nom *211th st, s s, and being lots A, B, C, D, E and F map W F Duncan at Williamsbridge. Filomena Cipolla to J Alfred Burlando. Mort \$1,000. June 18, 1907. Aug 20, 1908.

*215th st, late 1st av, s s, abt 356 w 5th av, 34.8x87.6, Wakefield. Dominico Bonomolo to Francesco Maccarrone. ½ part. All title. Mort \$2,000. June 24. Aug 17, 1908. other consid and 100 *217th st (3d av), s s, 255 w 5th av, 25x114, Wakefield. Henry Adler to Jos Bloch. Aug 5. Aug 20, 1908. nom *Same property. Joseph Bloch to John J Kain. Aug 6. Aug 20, 1908. **217th st (3d av), s. 255 w 518 av, 25x114, Wakefield. Henry Adler to Joss Bloch. Aug 5, Aug 20, 1908.

**39me property. Joseph Bloch to John J Kain. Aug 6. Aug 20. 1908.

**294th st, n s, 105.6 e Carpenter av, 50.6x114.6, Wakefield. Release mort. Hamilton Bank of N Y to Max and Annie Germansky. Aug 12, Aug 14, 1908.

**224th st, n s, 105.6 e Carpenter av, 25x114.6, Wakefield. Max Germansky and Annie his wife to Paul F Weinbeer. Mort \$4.350. Aug 13. Aug 14, 1908.

**235th st, n s, 55 w 0id White Plains road, runs n 114 x e 8.6 to Old White Plains road, x s w about 123.6 to st, x w 55 to beginning. Wakefield. Edw L E Phipps to Albina De Palma. Aug 11. Aug 19, 1908.

**237th st, No 211, n s, 100 e Keppler av, 40x100, 2-sty frame dwelling, 13-14 parts.

**237th st, No 215, n s, 140 e Keppler av, 40x100, 2-sty frame dwelling and 2-sty frame stable in rear. 6-7 parts.

**David Forsyth et al to Otto P Schroeder. All title. Aug 18. Aug 19, 1908. 12:3378.

**237th st, No 215, n s, 140 e Keppler av, 40x100, 2-sty frame dwelling and 2-sty frame stable in rear. Mary J Forsyth by Edw. L Thompson her COMMITTEE to Otto P Schroeder. 1-7 part. All title. B & S. Aug 18. Aug 19, 1908. 12:3378. 542.55

**Same property, all of. Otto P Schroeder. C Richard Stahl. Mort \$2.800. Aug 18. Aug 19, 1908. 12:3378.

**Same property, all of. Otto P Schroeder to Richard Stahl. Mort \$2.800. Aug 18. Aug 19, 1908. 12:3378.

**Same property, all of. Otto P Schroeder to Richard Stahl. Mort \$2.800. Aug 18. Aug 19, 1908. 12:3378.

**Same property, all of. Otto P Schroeder to Jennie Hughes. Mort \$2.000. Aug 18. Aug 19, 1908. 12:3378.

**Same property, all of. Otto P Schroeder to Jennie Hughes. Mort \$2.000. Aug 18. Aug 19, 1908. 12:3378.

**Same property. All of. Otto P Schroeder to Jennie Hughes. Mort \$2.000. Aug 14. Aug 18, 1908. 11:3063. other consid and 100 Anthony av, No 12183 and 2185, ws, 33.4 s 182a st, 33.4x80, two 3-sty brk tenements. Herman Kahn to Wm F Kenyon. Mort \$1,000. Aug 14. Aug 18, 1908. 11:3063. other consid and 100 Anthony av, No

*Becker av, n e s, w ½ of lot 125 map Washingtonville, 25x100. James Wilkinson to Wm D Miller. Mar 30, 1903. Aug 17, 1908.

James Wilkinson to Wm D Miller. Mar 30, 1903. Aug 17, 1908.

2,500

Bainbridge av, No 2667, w s, 262.11 n 194th st, 25x76.8x25x75.7,

2-sty frame dwelling. Wm H Gay to John S Arcangelo. Mort \$4,000. Aug 17. Aug 18, 1908. 12:3294. other consid and 100

*Burdett av, n s, 284.4 w Fort Schuyler road, 50x100, Tremont Heights. Release mort. Eugene R Dennis et al to The Lamport Realty Co. Aug 15. Aug 18, 1908. 400

Bryant av, No 1494, e s, 150 s 172d st, 25x100, 3-sty brk dwelling. Ida Davis to Jennie Kind. Morts \$10,000. Aug 12. Aug 15, 1908. 11:3000. other consid and 100

Crotona av n w cor 187th st, 75x80, vacant. Ignatz Greenberger 187th st to Alexander Geiger. ½ part. Mort \$5,000. Aug 13. Aug 14, 1908. 11:3105. nom

Concord av, w s, 177.9 n 147th st, 19.9x100, 2-sty frame dwelling. D J Dillon Co to Peter E Murphy. Mort \$5,500. Aug 14. Aug 15, 1908. 10:2579. other consid and 100

Carter av, w s, 209.3 s Tremont av, 18.9x115, 2-sty frame dwelling. German Construction Co to Augusto Pellegrinelli. Mort \$4,000. Aug 11. Aug 17, 1908. 11:2892. other consid and 100

Cambreleng av, No 2305. w s, 117.7 n 183d st, 16.8x100, 2-sty frame dwelling. Harry Cahn et al to John Wallace. Mort \$2,500. Aug 11. Aug 17, 1908. 11:3088. other consid and 100

*Cedar av, n e cor Elm st, 26.2x100. Release mort. Wm G Wood and ano TRUSTEES Maria Wood to Abraham Shatzkin. July 3. Aug 20, 1908.

*Cleveland av, n s, w ½ of lot 108 map Penfield property at South Mt Vernon, 25x103.6x25.8x97.9. Michael A Grimes to Charles Krauss. Mort \$400. Aug 19. Aug 20, 1908. nom

Crotona av, w s, 104.5 s 182d st, runs s along av, 25.1 x w 100 to beginning (?) probable omission, vacant. Antonio Abruscato to Salvatori Abruscato. All title. Aug 18. Aug 20, 1908. 11:-3083 and 3084.

Book 14. Aug 14. Aug 14. Aug 15. Aug 20, 1908. 11:-3083 and 3084.

Book 20, 1908. Aug 14. Aug 14. Aug 15. Aug 20, 1908. Aug 14.

Salvatori Abruscato. All title. Aug 18. Aug 20, 1908. 11:3083 and 3084. nom
Eagle av, No 896, e s, 62.6 n 161st st, 18.9x100, 4-sty brk tenement. Katie Zorn to Conrad Mueller. Mort \$9,500. Aug 14.
Aug 17, 1908. 10:2627. other consid and 100
*Edwards av, e s, 125 n Marrin st, 75x100. Christian Strohm to
Henrietta C Wettje. Mort \$900. Aug 15. Aug 18, 1908.
other consid and 100

Forest av, e s, 107.10 s 165th st, strip, 17.10x2.4, bet old and new
lines of av. Henry L Morris and ano as TRUSTEES, &c. Gouverneur Morris to Susie Stash. Q C. All title. July 8. Aug
19, 1908. 10:2659. 50

Forest av, No 864, e s, 51.2 s 161st st, 25x100, 3-sty frame teneement and store and 1-sty frame stable in rear. Timothy F Sullivan to The Bungay Co. Mort \$7,000. Aug 14. Aug 15, 1908.
10:2657. other consid and 100

Gun Hill road, n s, 101.8 e DeKalb av, 76.3x115.6x75x101.3, vacant. Arthur W Saunders to Louis J Ronder. B & S and C a G.
Mort \$5,287.50. Dec 8, 1905. Aug 20, 1908. 12:3328.
other consid and 100
*Grace av, n e s, 175 s Lyon av, 25x130. Alex F Walsh to James
F Donnelly. Mort \$4,000. Aug 1. Aug 20, 1908.

Grace av, n e s, 175 s Lyon av, 25x130. Alex F W F Donnelly. Mort \$4,000. Aug 1. Aug 20, 1908.

*Grace av, n e s, 175 s Lyon av, 25x130. Alex F Walsh to James F Donnelly. Mort \$4,000. Aug 1. Aug 20, 1908.

the deav, No 1151, w s, 225 n 167th st, 25x100, 3-sty frame tenement. Jacob Pekelner to Margt W Mark. Mort \$9,000. Aug 18. Aug 19, 1908. 10:2745.

the deav, No 189th st, 25x87.6, vacant. Geo E Stonebridge to Gaetano Ambriola. Mort \$6,500. Aug 18. Aug 20, 1908. 11:3078.

thughes av, e s, 190 n 189th st, 25x87.6. Agreement as to release mort, &c. Ottilie Siedler to Geo E Stonebridge. July 20. Aug 20, 1908. 11:3078.

Hoe av, Nos 1141 and 1143, w s, 100 n 167th st. 50.4x100, two 2-sty frame dwellings. Otto J Scheina to Mary F Scheina. Mort \$9,000. Aug 19. Aug 20, 1908. 10:2745.

Hoe av, No 1497, w s, abt 125 s 172d st, -x-, 2-sty frame dwelling. Elizabeth Reilly to Peter Purfield. Mort \$3,000. Aug 17. Aug 18, 1908. 11:2981.

Jackson av, No 887, w s, 134.3 n 161st st, 19.9x75, 2-sty frame dwelling. Charlotte Wolff to Emma Greiner. Mort \$4000, Aug 13. Aug 14, 1908. 10:2638.

Morris av | mort on above and agreement that 14th st, No 110 1934 st | w s Morris av, x s 259.2 to n s 193d st, x w 260 to 194th st | e s Jerome av, x n 259.2 to beginning, vacant. Release Morris av | mort on above and agreement that 14th st, No 110 1934 st | w s Morris av, x s 250.2 to a strustee under mort-gage by Fleischmann Realty and Construction Co with Daniel P Hays et al as bondholders of said Fleischmann Realty and Construction Co. July 13. Re-recorded from July 24, 1908. Aug 20, 1908. 7:2015; 2030, 2033. 11:3191.

Same, July 23. Re-recorded from July 24, 1908. Aug 20, 1908. 7:2015; 2030, 2033. 11:3191.

Lincoln av, No 166, e s, 25 n 135th st, 25x100, 2-sty frame tenement and store. Marie Hartmayer to C Wm Montgomery. Mort \$2.500. Aug 17. Aug 18, 1908. 9:2311. other consid and 100 Leggett av | n w cor Beck st, 250 to s s Kelly st, x107.5, 1-sty frame dwelling. Mary E C wife of Henry J Nichols to Mary Sut-

a Fontaine av, No 2166, e s, 57.8 s Quarry road, 20x95, 2-sty frame dwelling. Mary E C wife of Henry J Nichols to Mary Sutter. Morts \$4,800. Aug 12. Aug 14, 1908. 11:3063.

Mapes av, No 2081 s w cor 180th st, 88x22.2, two 3-sty frame 180th st, No 790 tenements and stores. Domenico Sebastiano to Rosa C Klinkel. Morts \$11,500. Aug 17. Aug 19, 1908. 11:3109.

Martha av n e cor 240th st, 200 to 241st st, x100x—x65, vacant.

Martha av, n w cor 241st st, 100x100.

Katonah av, n e cor 241st st, 100x135.

Declaration as to deed dated Aug 7, 1908. Edw Riegelman to whom it may concern. Aug 19, 1908. 12:3390 and 3394.

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*Boston road, n w s, 25 s w Thwaites pl, 25x106.6x25x107.9, except part for White Plains road. Geo A Riehl to Adam Herlich. Mort \$9,000. Aug 13. Aug 19, 1908.

*Beach av or 173d st, e s, 300 n Gleason av, 25x100. James Garvey to Thomas Davies and Elizabeth his wife, tenants by entirety. Mort \$3,500 and all liens. Aug 15. Aug 17, 1908. 100

Bathgate av, No 1822, e s, 128.5 n 175th st, 41.6x99.2x41.6x99.1, 5-sty brk tenement. Release mort. The Corn Exchange Bank to Streebrook Realty Co. Aug 11. Aug 17, 1908. 11:2923. 30,000

part. Q C. Mort \$42,000. July 1. Aug 19, 1908. 11:2962.
other consid and 100
*Broadway, n w cor Tremont road, runs w 194.3 x n 100 x e 50 x
s 50 x e 112.11 to Broadway, s e 59 to beginning. Release
mort. A Morton Ferris to Bankers Realty & Security Co. Aug
3. Aug 19, 1908.
Brook av, No 1522, e s, 200 n 171st st, 25x100.11, 4-sty brk tenement. Wm F Kenyon to Katie O Kahn. Aug 17. Aug 18, 1908.
other consid and 100
*Boston road n w s 25 s w Thweites nl 25x106 6x25x107.0 cm

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VOTE FOR A BRONX QUARTERLY

If you desire a quarterly and annual compilation of these records for the Borough of the Bronx, write to the Realty Records Co., 11 East 24th St., Manhattan. The Bronx Quarterly will be published as soon as a sufficiently large number of letters have been received expressing interest

Martha av | n e cor 240th st, runs n 200 to s s 241st st, x e 100 x | 240th st | s — to c l of a creek, x s w — to n s 240th st, x w — 241st st | to beginning.

Martha av, n w cor 241st st, 100x100.

Katonah av | n e cor 241st st, 100x135, vacant.

Bronx Heights Land Co to Edward Riegelmann. Morts \$10,045.
Aug 7. Aug 15, 1908. 12:3390 and 3394.

Same property. Edward Riegelmann to Chas H Zumbuehl. Mort \$10,045. Aug 7. Aug 15, 1908. 12:3390 and 3394.

Newell av, e s, 375 n Elizabeth st, 25x125, Olinville. Flora W Hayes to Garradine F Stangeland. Mort \$4,500. June 5. Aug 14, 1908.

*Newell av, w s, 125 s Elizabeth st, 25x130 to Bronx River, x25x 129, Olinville. Rose Sasso to Salvatore M de Pasquale. Mort \$3,000. Aug 13. Aug 14, 1908. other consid and 100 Nelson av, e s, 200.6 n 166th st, runs e 9.9 to n s Bremer av (closed), x n w 31 to e s Nelson av, x s 30.2 to beginning, vacant. PARTITION, July 21, 1908. Geo A Steves ref to Wm J Walter. Aug 10. Aug 18, 1908. 9:2513. 625
*Olinville av, e s, 200 n Mace av, 50x163.3x50.6x156 and being lots 209 and 210 map No 1272, property Joel Wolfe. Domestic Realty Co to Geo Levy. Aug 19. Aug 20, 1908. other consid and 100

Realty Co to Geo Levy. Aug 19. Aug 20, 1908.

other consid and 100

*Parker av, w s, 125 n Rose pl, 25x100. Francesca P Mancuso to Charles J Verro. Mort \$3,500. Aug 17. Aug 18, 1908. nom Prospect av, Nos 1314 and 1316, on map No 1316, e s, 103.6 n Home st, runs e 100 x n 60 x s w 45.11 x w 59.3 to av, x s 40 to beginning, 5-sty brk tenement. Release mort. The N Y Trust Co to The M & V Construction Co. Aug 10. Aug 14, 1908. 10:-2694.

Park av | e s, 8.10 n 189th st, runs e 99.3 x s e 16.4 to n s 189th 3d av | st, x e 62.1 to w s 3d av, x n w 137.7 x w 81.10 to e s 189th st | Park av, x s w 35.4 x s along av, 68.6 to beginning, vacant. Francis Higgins as TRUSTEE Frances H Duclos and Chas H Benner will of Hiram Benner to Wm S Barstow and J Holmes Butler, Jr, substituted TRUSTEES of Frances H Duclos and Chas H Benner will of Hiram Benner. Mort \$8,500. Jan 30, 1907. Aug 14, 1908. 11:3041.

*Pelham road, w s, 78 s Amsterdam av, 26x126x25x118. West-chester. Regent Realty Co to Ida Johnson and Augusta Thorell. July 20. Aug 17, 1908.

Ryer av, Nos 2181 to 2185, w s, 202.11 n 181st st, deed reads part lot 199, map Prospect Hill Estate at Fordham, begins at n s lot 200 and land of Peter Valentine, runs w 120.9 to point 148.6 e Av C, and n 50 to lot 198, x e 125 x s 50.2 to beginning, except part for Ryer av, three 3-sty frame tenements. FORE-CLOS, July 15, 1908. Thos J L McManus (Ref) to James T Murray. Mort \$9,000. July 28. Aug 17, 1908. 11:3157. 9,600

*Sands av, s s, 100 e Schuyler pl, 50x100, Westchester. Marion S H and Peter H Petersen to Eliz M Nielson. July 7. Aug 15, 1908.

*St Lawrence av, w s, 75 s Beacon av, 25x100. Mary wife of and Owen Kivlan to Wm D Salter, of Bayonne, N J. Aug 11. Aug

St Lawrence av, w s, 75 s Beacon av, 25x100. Mary wife of and Owen Kivlan to Wm D Salter, of Bayonne, N J. Aug 11. Aug 18. 1908.

owen Kivian to will b Safter, of Bayonic, it is no 18, 1908.

St Anns av, No 481 s w cor 147th st, 25x99.4, 5-sty brk tene147th st, No 548 ment and store. Isaac Silberberg to Marcus Rosenthal. Mort \$30,000. Aug 10. Aug 17, 1908. 9:2273.

Stebbins av, No 1358, e s, 408.9 n Freeman st, 25x73.5x25.11x80.4, 2-sty frame dwelling. Conrad Mueller to Katie Zorn. Mort \$3 000. Aug 14. Aug 17. 1908. 11:2965. other consid and 100 Southern Boulevard, e s, 150 n Tiffany st, 100x100, vacant. Release mort. Lawyers Title Ins and Trust Co to James F Meehan Co and Tully Construction Co. Aug 13. Aug 20 ,1908. 10:2733.

*Tremont road, n s, 150 e Edison av, 50x100.

Tremont road, n s, 200 e Edison av, 50x112.11x59x144.3, Tremont Terrace.

mont Terrace.

Bankers Realty & Security Co to Oscar L and Louis L Lyons.
All liens. July 28. Aug 19, 1908. 100

*Virginia av, w s, 263 s Westchester av, 50x101.3. Thomas Davies to James Garvey. All liens. Aug 15. Aug 17, 1908.

Other consid and 100

Washington av, No 1168, e s, 65 n 167th st, 125x137, vacant.

The E & W Construction Co to The Brook Construction Co, a corpn. All liens. Aug 11. Aug 15, 1908. 9:2372.

Other consid and 100

Webster av, Nos 1724 to 1730 s e cor 174th st, 106.2x55x108.8x 174th st

dwellings. John D Schmid to Johanna C Spoerry. All title.

Mort \$6,000 and all liens. Aug 12. Aug 14, 1908. 11:2898.

Same property. Henry A Steinbock to same. All title. B & S.
Aug 12. Aug 14, 1908. 11:2898.

Nom
Washington av, w s, 50 s 187th st, 50x101.

187th st, s s, 101 w Washington av, 40x100.

Washington av, w s, 50 s 187th st, 40x101.

Agreement cancelling declaration of trust recorded Nov 27, 1907. James Mulholland with David G Morrison, Theron S Johnson and Michael J Gilleran as TRUSTEES. Aug 18. Aug 19, 1908. 11:3040.

Washington av s w cor 187th st, 50x101, 5-sty brk tenement and 187th st | store. Release mort. Thos T Reid to James Mulholland. Aug 18. Aug 19, 1908. 11:3040.

Same property. James Mulholland to Thos T Reid of Montclair, N J. Morts \$49,000. Aug 18. Aug 19, 1908. 11:3040.

Other considerand 100 Westchester av | s w cor Freeman st 1025x1120 100 101

Westchester av | s w cor Freeman st, 102.5x112.2x100x134.5, vaFreeman st | cant. James Forbes et al to Chas J Crowley.

Mort \$9,600. Aug 18. Aug 19, 1908. 11:3006 and 3012.

Walton av, No 2112, e s, 75 s 181st st, 25x100, 3-sty frame tenement. Hannah J Frankel to Paul M Herzog. Mort \$8,800. Aug 13. Aug 20, 1908. 11:3178. other consid and 100

*2d av (1st av), e s, 145 s 216th st, late 2d st, 30x100, Williamsbridge. Isidor Herz to Stanislaus Pianka. B & S. All liens.

Aug 18. Aug 20, 1908. 150

Bulkhead line East River at line between lands of East Bay Land & Impt Co and N Y, N H & H R R Co, runs e along bulkhead line 350 x n 500 x w 350 x s 500 to beginning, with all title to land under water and a right of way from said premises to Leggett av, with buildings, dock, etc. The Rock Plaster Co of N Y and N J to the Rock Plaster Mfg Co of N Y. B & S. Mort \$80,000. July 31. Aug 17, 1908. 10:2604 and 2605. nom Lots 161, 162, 165, 168 to 183, 187 and 188 map 221 lots Claremont Heights. G Harry Lester to John E Shepherd of Cryders Point, L I. Morts \$34,090 on this and other property. June 1. Aug 14, 1908. 11:2783, 2784 and 2785. other consid and 100 Same property. Susan B Field to G Harry Lester. Mort \$39,100 and all liens. Mar 23, 1908. Aug 14, 1908. 11:2783, 2784 and 2785.

*Lot 594, situated on the Narrows on n ws of Terrace Point, on map of Eliz R B King, at City Island. Tallmadge W Foster to Ferdinand Rosenberger. Aug 10. Aug 19, 1908. 100

Lot 97 map 221 lots Claremont Heights. Release mort. Regent Realty Co to Chas Walden. Aug 19. Aug 20, 1908. 11:2783, 2784.

*Plot begins 740 e White Plains road at point 595 n along same from Morris Park av, runs e 100 x n 25 x w 100 x s 25 to beginning, with right of way over strip to Morris Park av. Ike Melnik to Tessie Peterson. Mort \$3,500. Aug 15. Aug 17, 1908. other consid and 100

*All real estate whereof said Ludwig Maurer is now seized or

*All real estate whereof said Ludwig Maurer is now seized or possessed, except land at Guilford, Conn. Release dower. Rosa wife of Ludwig Maurer to said Ludwig Maurer. Q C. July 18, 1907. Aug 20, 1908.

LEASES

Under this head all Leases recorded, Assignment of Leases and Leasehold Conveyances will be found. The expressed consideration following the term of years for which a lease is given means so much per year.

Aug. 14, 15, 17, 18, 19 and 20.

BOROUGH OF MANHATTAN.

Same property.

HECLA IRON WORKS | Architectural Bronze

North 10th, 11th and 12th STREETS

BROOKLYN,

NEW YORK IRON WORK

, No 416, south store. Kate Maisner and ano to Moses 3 years, from Sept 1, 1908. Aug 17, 1908. 6:1728... 600 and 720 Bloom;

BOROUGH OF THE BRONX.

1 av, No 3469, store floor. Emilie Koenig to Geo and Fritz Aschenmeller; 3 years, from July 1, 1908. Aug 20, 1908. 9:2372.

MORTGAGES

NOTE.—The arrangement of this list is as follows: The first name is that of the mortgagor, the next that of the mortgagee. The description of the property then follows, then the date of the mortgage, the time for which it was given and the amount. The general dates used as headlines are the dates when the mortgage was handed into the Register's office to be recorded.

Whenever the letters "P. M." occur, preceded by the name of a street, in these lists of mortgages, they mean that it is a Purchase

Money Mortgage, and for fuller particulars see the list of transfers

Money Mortgage, and for fuller particulars see the list of transfers under the corresponding date.

The first date is the date the mortgage was drawn, the second the date of filing; when both dates are the same, only one is given.

Subscribers will find mortgages in this list with the wrong block number attached. The block number we give is taken from the instrument as filed.

Mortgages against Bronx property will be found altogether at the foot of this list.

Aug. 14, 15, 17, 18, 19 and 20.

BOROUGH OF MANHATTAN.

Arndstein, Moser to U S SAVINGS BANK of City N Y. Cathedral Parkway, No 50, s w cor Manhattan av, 100x72.11. 1908, 5 years, 5%. 7:1845. 109,000

Brennan, Gertrude K with BOWERY SAVINGS BANK. 18th st, No 303 West. Extension of mort for \$16,000 at 5%. Aug 14. Aug 17, 1908. 71945.; nom Browne, Chas A, of Lake Ronkonkoma, N Y, to Emma W Wingate. 119th st, No 7, n s, 95.5 w 5th av, 14x57.9x14.6x53.11. Aug 20, 1908, 1 year, 6%. 6:1718. 600

Bader, Robert to Emily H Moir. 65th st, Nos 326 and 328, s s, 275 e 2d av, 37.6x100. Aug 18, 5 years, 5%. Aug 20, 1908. 5:-1439. 33,000

Bauerdorf, Chas and Geo Karsch as trustees for Ida Adams Gal-

275 e 2d av, 37.6x100. Aug 18, 5 years, 5%. Aug 20, 1908. 5:1439.

Bauerdorf, Chas and Geo Karsch as trustees for Ida Adams Gallatin under deed of trust to TITLE GUARANTEE AND TRUST
CO. 7th av, No 281, s e cor 26th st, No 162, 20.9x70. June 26,
due, &c. as per bond. Aug 20, 1908. 3:801. 30,000

Barrett, Richd E to TITLE GUARANTEE AND TRUST CO. 57th
st, No 305, n s, 78 e 2d av, 22x109. Aug 19, 1908, due, &c., as
per bond. 5:1350. 13,000

Bogert, Henry L as trustee for Mary E Robson will of Cornelius
Bogert with Louis Meyers. Lexington av, No 1713, e s, 17.7
n 107th st, —x—. Extension of \$10,661 mort at 5½%. May
1. Aug 19, 1908. 6:1635. nom

Barry, John F to Edw F Cole. 171st st, n s, 150 e St Nicholas av,
25x95. Aug 14, 3 years, 5½%. Aug 15, 1908. 8:2128. 7,000

Same and Daniel F Mahoney with same. Same property. Subordination agreement. Aug 14. Aug 15, 1908. 8:2128. nom

Bleecker Realty Co to Thomas W Jones. Bleecker st, Nos 54 and
56, s w cor Lafayette st, Nos 332 to 338, late Elm st, 43x101.6x
19.10x116.1. Certificate as to above mort. Feb 27. Aug 15,
1908. 2:522.

Baum, Sam'l C with Hugo and Gustav Stearns. Av B, No 287, e s,
42 s 17th st, 20x68. Extension mortgage. July 1. Aug 20,
1908. 3:984. nom

Construction Co. 1120.

42 s 17th st, 20x68. Extension mortgage. July 1. Aug 20, 1908. 3:984.

Central Building Impt & Investment Co to Silverson & London Construction Co. 113th st, n s, 150 w Amsterdam av, 75x100.11. Certificate as to reduction of mortgage. Aug 13. Aug 20, 1908. 7:1885.

Cossitt, Pauline B to City Real Estate Co. 70th st, No 146, s s, 417 w Columbus av, 16x100.5. P M. Aug 19, 1908, due, &c, as per bond. 4:1141.

Cappel, Peter P to Isabella Cappel his wife. 23d st, No 331, n e s, 325 n w 8th av, 19.4x142.4, with right of way through alley 9 ft wide; 23d st, No 333, n e s, 344.4 n w 8th av, runs n w 18.11 x n e 142.4 x s e 4.9 x n e 55 to s s 24th st, x s e 9 x s w 55 x s e 5.2 x s w 142.4 to beginning, with all title to strip on west 0.5½x142.4; 23d st, No 335, n e s, 363.8 n w 8th av, 19.10x142.4, all right of way through alley leading to 24th st. Aug 18, 1 year, 6%. Aug 19, 1908. 3:747.

Church & Warren Co, a corpn, to ALBANY COUNTY SAVINGS BANK of Albany, N Y. Warren st, No 32, n e cor Church st, Nos 143 to 157, 24.8x175.10 to s s Chambers st, No 102, 25x 175.10. Aug 12, 5 years, 5%. Aug 14, 1908. 1:135.

Chace, Hattie C wife of and Chas G to CHELSEA EXCHANGE BANK. 48th st, No 612, s s, 200 w 11th av, 25x100.5. Prior mort \$20,000. Aug 13, due Dec 14, 1908, int as per note. Aug 14, 1908. 4:1095.

Cohen, Saml to Louis Roth. 80th st, No 231, n s, 28.9 w 2d av, 25.5x102.2. Prior mort \$16,300. Given as collateral security for 11 notes of \$100 each. Aug 17, 1 year, 6%. Aug 20, 1908. 5:1526.

25.5x102.2. First in for 11 notes of \$100 each. Aug 17, 1 year, 0%. 1300 5:1526.

Connery, Thos F, Jr, to EMIGRANT INDUST SAVINGS BANK. Cherry st, No 105½, s s, 50.2 e Oliver st, runs s 60 x e 6.9 x s 0.4 x e 10.5 x n 60.4 to st, x w 16.8 to beginning; Cherry st, No 107, s s, 66.10 e Oliver st, 16.8x60. Aug 17, 1908, 3 years, 5%. 1:251.

Coolidge, Tina L to Gertrude I Gillig. 77th st, No 62, s s, 120 e Madison av, 12.6x102.2. P M. Aug 17, 5 years, 6%. Aug 18, 20.000 5:1391.

Coolidge, Tina L to Gertrude I Gillig. 77th st, No 62, s s, 120 e Madison av, 12.6x102.2. P M. Aug 17, 5 years, 6%. Aug 18, 1908. 5:1391. 20,000

Dassler, Doris, of Ridgefield Park, N J, to Geo Latour. 47th st, No 547, n s, 175 e 11th av, 25x100.4. Prior mort \$12,000. Aug 18, 1908. 2 years, 6%. 4,000

Dougan, Eliz J to Thos J Meehan. 151st st, No 452, s s, 254 e Amsterdam av, 21x99.11. P M. Aug 17, 1908, due Mar 30, 1909, 6%. 7:2065. 1,250

Downey, Margt F, of New Rochelle, N Y, to CITIZENS SAVINGS BANK. 66th st, No 159, n s, 153.8 e Amsterdam av, 28.6x100.3 x28.6x100.1. P M. July 27, due May 15, 1913, 5%. Aug 14, 1908. 4:1138. gold, 24,000

EAST RIVER SAVINGS INST with Nellie Downey. 105th st, Nos 149 and 151, n s, 249 e Amsterdam av, 49x100.11. Extension of \$70,000. mort at 5%. Aug 18. Aug 19, 1908. 7:1860. nom Forty-Eighth Street Warehouse Co to Edw W C Arnold. 47th st, Nos 433 to 437, n s, 400 e 1st av, runs n 100.5 x w 0.4 x n 100.5 to s s 48th st, No 430, x e 75 x s 200.10 to 47th st, x w 74.8 to beginning. Aug 18, 1908, 5:1359. 40,000

Same to same. Same property. Certificate as to above mort. July 30. Aug 18, 1908. 5:1359. Flynn, Annie to Freehold Construction Co. 44th st, No 244, s s, 100 w 2d av, 25x100.5. Prior mort \$13,000. Aug 15, due Feb 15, 1911, 6%. Aug 17, 1908. 5:1317. 2,000

Flynn, Timothy F to Lion Brewery. 1st av, No 2296. Saloon lease. Aug 5, demand, 6%. Aug 20, 1908. 6:1806. 2,332.64

August 22, 1908

India, Java and Huron Sts. and East River JOHN C. ORR CO., India, Java and Huron Sts. and East River City of New York, Borough of Brooklyn

SASH, DOORS, BLINDS LUMBER OF ALL KINDS FOR BUILDERS . Telephone AND HOUSE TRIM LUMBER OF ALL KINDS FOR BUILDERS .48 Greenpoint

Ferguson, Martin G to Aero Realty Co. Manhattan av, n e cor 109th st, runs n 145.11 to s s Cathedral Parkway, x e 236.10 x — on curve 166.4 to 8th av, x s 62 to 109th st, x w 370 to beginning. Leasehold. Aug 19, 1 year, 6%. Aug 20, 1908.

x — on curve 166.4 to Sth av, x s 62 to 109th st, x w 370 to beginning. Leasehold. Aug 19, 1 year, 6%. Aug 20, 1908. 7:1845.

Feltenstein, Abraham to Ray Goldfarb. Lexington av, No 1755, s e cor 109th st, No 154, 20.11x68. Aug 19, due Mar 1, 1909, 6%. Aug 20, 1908. 6:1636.

Flig, Lizzie to LAWYERS TITLE INS AND TRUST CO. 69th st, Nos 315 and 317, n s, 225 w West End av, 41.7x100.5. Aug 14. 5 years, 5%. Aug 15, 1908. 4:1181. 27,000

Same to Archibald H Murdock. Same property. Prior mort \$27,-000. Aug 14, 1 year, 6%. Aug 15, 1908. 4:1181. 13,000

Flig, Lizzie to LAWYERS TITLE INS AND TRUST CO. 69th st, Nos 319 and 321, n s, 266.7 w West End av, 41.6x100.5. Aug 14, 5 years, 5%. Aug 15, 1908. 4:1181. 27,000

Same to Archibald H Murdock. Same property. Prior mort \$27,-000. Aug 14, 1 year, 6%. Aug 15, 1908. 4:1181. 13,000

Flig, Lizzie to LAWYERS TITLE INS AND TRUST CO. 69th st, No 323, n s, 308.1 w West End av, 41.6x100.5. Aug 14, 5 yrs, 5%. Aug 15, 1908. 4:1181. 13,000

Flig, Lizzie to LAWYERS TITLE INS AND TRUST CO. 69th st, No 323, n s, 308.1 w West End av, 41.6x100.5. Aug 14, 5 yrs, 5%. Aug 15, 1908. 4:1181. 13,000

Flass, Joseph to S Multz. Clinton st, No 145, w s, 64.3 s Broome st, 18.3x50. Prior mort \$15,000. Aug 18, 12 months, 6%. Aug 19, 1908. 2:346. Notes 2,000

Feltenstein, Abraham to Silvie Lord. Lexington av, No 1755, s e cor 109th st, No 154, 20.11x68. Aug 19, 1908, 3 years, 5½%. 6:1636.

Same and Hyman Goldfarb with same. Same property. Subordingtion agreement. Aug 19, 1908, 6:1636.

6:1636. 14,000
Same and Hyman Goldfarb with same. Same property. Subordination agreement. Aug 19, 1908. 6:1636. nom
Fay, Kath C to TITLE GUARANTEE AND TRUST CO. 15th st, No 20, s s, abt 295 w 5th av, 25x69.11x25.8x75.9. Aug 19, 1908, due, &c, as per bond. 3:816. 12,000
Goetschius, John H, of Montclaire, N J, to Saml Rodt and ano. 10th st, Nos 236 and 238, s e s, abt 155 e Hudson st, 50x95. P M. Prior mort \$45,000. Aug 18. Aug 19, 1908. 5 years, 6%. 2:619.

2:619.
Geiger, Esther to W & B Realty Co. 145th st. Nos 227 to 237, n s, 350 w 7th av, three lots, each 40x99.11. Three P M morts, each \$9,500. Aug 15, 3 years, 6%. Aug 19, 1908. 7:2031.

28,500

Goeltz, Minnie H to Casper H Hauck, of Allendale, N J. S9th st, No 117, n s, 108.11 w Lexington av, 27.11x100.8. Aug 14, due July 1, 1913, 4½%. Aug 18, 1908. 5:1518. 16,000

Gentzlinger, Wm H to Charles Bruno. Riverside Drive, No 94, e s, 64.2 s 82d st, runs e 70.3 x n 15.6 x w 26.6 x n w 6.3 x w 47 to drive, x s 21.2 to beginning. P M. Aug 17, 1908, due Sept 1, 1914, 5%, 1st year and thereafter 4½%. 4:1244. 27,000

Harbater, Joseph and Solomon Silk to Amelia M Bauchle as trustee for Thos H Bauchle, Jr, under will Thos H Bauchle. 17th \$t, No 347, n s, 122 w 1st av, 22x92. Aug 20, 1908, 5 years, 5½%. 3:923.

tee for Thos H Bauchle, Jr, under will Thos H Bauchle. 17th \$t, No 347, n s, 122 w 1st av, 22x92. Aug 20, 1908, 5 years, 5½%. 3:923. 25,000

Harbater, Joseph and Solomon Silk to Etel Silk. 17th st, No 347, n s, 122 w 1st av, 22x92. Prior mort \$25,000. Aug 20, 1908, 4½ years, 6%. 3:923. 9,000

Hohloch, John to Julius Schwalm. 83d st, No 327, n s, 225 w 1st av, 25x102.2. July 1, 3 years, 6%. Aug 18, 1908. 5:1546. 2,500

Henderson, Edw C with Henry A C Taylor. 54th st, No 60 East, Extension of \$28,000 mort with interest increased from 4½% to 5%. Aug 5. Aug 17, 1908, 5:1289. nom

Heede, Daniel to Carrie Basler. 66th st, No 320, s s, 231.3 e 2d av, 18.9x100.5. Aug 11, due, &c, as per bond. Aug 14, 1908. 5:1440. 5,500

Irwin, May to EXCELSIOR SAVINGS BANK of City of N Y. Lex-

5:1440.

Irwin, May to EXCELSIOR SAVINGS BANK of City of N Y. Lexington av. No 636, n w cor 54th st, No 139, 20.5x70. Aug 10, 3 years, 5½%. Aug 19, 1908. 5:1309.

Jones (Chas E) Co to Louis M and Thos W Jones. 134th st, Nos 518 to 524, s s, 393 w Amsterdam av. 4 lots, each 43.9x99.11. Certificate as to four morts for \$10,000 each. Jan 9. Aug 19, 1908. 7:1987.

Certificate as to four morts for \$10,000 each. Jan 9. Aug 19, 1908. 7:1987.

Johannsen, Christian T to Matthew J Murphy and ano. 89th st, No 434, s, \$207 w Av A, 25x100.8. P M. Prior mort \$10,000. Aug 14, 5 years, 5½%. Aug 15, 1908. 5:1568. 7.500

Kelly, Edw H to Cath York. 98th st, No 58, s, 600 w Central Park West, 25x100.11. Aug 17, due April 1, 1910, 6%. Aug 18, 1908. 7:1833. 4.000

Kelly, Thomas F to Lion Brewery. 7th av. s w cor 124th st. Saloon lease. Aug 7, demand, 6%. Aug 20, 1908. 7:1929. 1,500

Kirsh, Nathan with Celia Kirsh. Perry st, Nos 117 and 119, n e cor Greenwich st, Nos 733 and 735, runs n 56.6 x e 70 x s 26.2 to Perry st, x w 85.1 to beginning. Participation agreement. Aug 18. Aug 19, 1908. 2:633. nom

Kohn, Nathan to N Y Protestant Episcopal Public School. Av A, No 153, w s, 52.11 s 10th st, 26.4x113. Aug 14, 1908, 5 years, 5%. Aug 15, 1908. 2:437.

Kurzrok, Max to LAWYERS TITLE INS AND TRUST CO. 2d av, Nos 2100 and 2102, n e cor 108th st, No 301, 50x100. July 30, 1908, 5 years, 5½%. 6:1680. Corrects error in issue of Aug 1, when property was 2d av, No 134, n e cor 8th st, No 37½. 57,000

Klinghoffer, Isaac with MANHATTAN LIFE INS CO and Nathan Loewy. 113th st, Nos 610 and 612 West. Subordination agreement. Aug 18. Aug 19, 1908. 7:1895. nom

Kimler, Barnet and Wm Cohen to Morris Rome. 116th st, No 4, s, 85 e 5th av, runs s 50 x s e 35.10 x n 75.8 to st, x w 25 to beginning. Prior mort \$16,000. Aug 16, 2 years, 6%. Aug 19, 1908. 6:1621. 3,000

Klinkel, Rosa wife of Wm, Jr, to TITLE GUARANTEE AND TRUST CO. 117th st, No 419, n s, 212.9 e 1st av, 18.9x100.11. Aug 17.

Hinkel, Rosa wife of Wm, Jr, to TITLE GUARANTEE AND TRUST CO. 117th st, No 419, n s, 212.9 e 1st av, 18.9x100.11. Aug 17, due, &c, as per bond. Aug 19, 1908. 6:1711. 5.000
Littell, Margaretha E widow of Middletown, N J, to Isaac W Caulfield. 141st st, No 415, n s, 152 w St Nicholas av. 16.4x99.11. Prior mort \$10.500. June 17, 1905, due July 1, 1907, 6%. Aug 19, 1908. 7:2050.

Loewy, Nathan to MANHATTAN LIFE INS CO. 113th st, Nos 610 and 612, s s, 252.6 e Riverside Drive, 42x100.11. Aug 18, due, &c, as per bond. Aug 19, 1908. 7:1895. 60,000
Lyon, Fanny C et al as trustees Saml E Lyon with Augustus Van Cortlandt. Greenwich st, No 38. Extension mort. Nov 25, 1907. Aug 15, 1908. 1:14. nom
La Velle, Lena Regelmann heir Christian Regelmann to Margaret Knox. 9th st, No 425, n s, 316.8 e 1st av, 16.8x85; 9th st, No

423, n s, 300 e 1st av, 16.8x85. Jan 22, 1908, due July 22, 1908, 6%. July 23, 1908. 2:437. Corrects error in issue of July 25, when 1st parcel read 9th st, No 423. 50 ehman, Samuel with Sylvia Hicks. 73d st, No 233 East. Extension of \$15,000 mort at 5%. June 19. Aug 18, 1908. 5:1428.

Mook, Wm H to Herman Lehman. 3d av, No 319 (305), s e cor 24th st, Nos 209 and 202, 18.6x97. 1-6 part. All title. Aug 15, 1 year, 6%. Aug 17, 1908. 3:904. 1,000 Mims, Caroline to Mary Murphy widow. 133d st, No 120, s s, 230 n w Lenox av, 20x99.11. July 6, installs, 6%. Aug 20, 1908. 7:1917. 2500

Mims, Caroline to Mary Murphy widow. 133d st, No 120, s s, 230 n w Lenox av, 20x99.11. July 6, installs, 6%. Aug 20, 1908. 7:1917. 2,500

Mechanic, Barney and Isadore to Leopold Hellinger. 6th st, No 310, s s, 150 s e 2d av, 25x97. Prior mort \$27,000. Aug 11, due May 1, 1909, 6%. Aug 14, 1908. 2:447. 500

Mulhern, Steam Heating Co with TITLE INS CO of N Y. Audubon av, n w cor 177th st, 94.11x100. Subordination agreement. Aug 18. Aug 19, 1908. 8:2133. nom

Newkofsky, Celia and Rebecca Rosen, of Brooklyn, N Y. to Jennie Goldstein. 18th st, No 530, s s, 183 w Av B, 43.9x92. P M. Aug 15, installs, 6%. Aug 19, 1908. 3:375. 850

Pfeiffer, Joseph to Eliz C Pfeiffer. 62d st, No 130, s s, 114 w Lexington av, 20x100.5. Prior mort \$—. Aug 11, demand, 6%. Aug 17, 1908. 5:1396. 1000

Peskin, Hyman and Jacob to Max Lipman. 104th st, Nos 234 to 240, s s, 175 w 2d av, 75x100.11. Prior mort \$83,000. July 23, 5 years, 6%. Aug 14, 1908. 6:1653. 3.000

Peskin, Hyman and Jacob to Annie Lipman. 104th st, No 234, s s, 212.6 w 2d av, 37.6x100.11. P M. Prior mort \$83,000. July 23, 5 years, 6%. Aug 14, 1908. 6:1653. 3.000

Pilmpton, Geo A to Rapid Transit Subway Construction Co. Park av, No 61, e s, 49.7 s 38th st, 24.7x80. P M. Aug 12, due, &c, as per bond. Aug 19, 1908. 3:893. 8.3325 due Dec 15, 1909. 6%. Aug 18, 1908. 1:290. nom Roemer, Emily M to American Mortgage Co. Jumel pl. w s, 241. 3 n 167th st, 125x160. P M. Aug 17, 3 years, 5½%. Aug 18, 1908. 8:2112. Redfern, Cora B to Charles Kaiser. Broadway, No 3147, w s, 100 n 125th st, 41.8x100. P M. Prior mort \$54,500. Aug 13, 3 yrs, 6%. Aug 17, 1908. 7:1093. 7:500. Rieger, Jacob with LAWYERS TITLE INS AND TRUST CO. 11th st, Nos 322 and 324 West. Agreement as to share ownership in bond and mort. July 14. Aug 14, 1908. 2:633. nom Rust, Bernhard to Ernest H Meyer. West Broadway, No 229, s e cor White st, No. 1, 15x47. Leasehold. Aug 15, 1908, installs, 5%. 1178. Notes 6,000 mortgage. Aug 18. Aug 19, 1908. 2:471. nom Scully, David H to Mary Scully. 124th st, No 13, n, s, 200 e 5th 5th av,

einiger, Samuel to Bertha Fibel. 115th st. No 167½, n s. 245 w 3d av, 12.6x100. P M. Aug 20, 1908, 3 years, 5%. 6:1643

4,50
STATE BANK with Emily H Moir. 65th st, Nos 326 and 328 East, s s, 275 e 2d av, —x—. Subordination agreement. Aug 19. Aug 20, 1908. 5:1439.
Schwarz, Joseph H with Wolf Wigdorowitz, Harris Tepper and Isidor Friedman. Allen st, No 122. Agreement as to extension of three morts, &c. Aug 10. Aug 15, 1908. 2:415. nor Steuer, Max D with CITIZENS SAVINGS BANK. 3d st, Nos 50 and 52 East. Subordination agreement. Aug 10. Aug 14, 1908. 2:444.

Smith, Grace, of Brooklyn, N Y, to Chas Dorn and ano. 103d st, No 109, n s, 64 e Park av, 16x100.11. Aug 14, 3 years, 5%. Aug 15, 1908. 6:1631. 5,000

No 109, n s, 64 e Park av, 16x100.11. Aug 14, 3 years, 5%. Aug 15, 1908. 6:1631. 5,000

South Side Construction Co to City Mortgage Co. 179th st, s s, 125 e St Nicholas av, 125x100. Building loan. Aug 11, demand, 6%. Aug 14, 1908. 8:2153. 95,000

Same to same. Same property. Certificate as to above mort. Aug 11. Aug 14, 1908. 8:2153. nom

Shapiro, Ike to Oscar Englander. Delancey st, No 246, n w cor Sheriff st, No 45, 25x75. July 28, due May 1, 1909, 6%. Aug 15, 1908. 2:338. 1,500

Schwartz, Max to CITIZENS SAVINGS BANK. 3d st, Nos 50 and 52, s s, 100 e 2d av, 37.6x101.7x37.6x101.9. Aug 14, 1908, due Nov 15, 1913, 5%. 2:444. 40,000

Sroka, Louis and Grace K Moore and Sigmund Sturm with Lena Gurgel. 56th st, No 237, n s, 200 w 2d av, 25x100.5. Subordination agreement. Aug 10. Aug 14, 1908. 5:1330. nom Strahan, Robt H to Lillian E Scofield. 41st st, No 120, s s, 260 w 6th av, 20x98.9. P M. Aug 18, 3 years, 5%. Aug 19, 1908. 4:993.

**Stranan, Robert H. to Ellinan E. Sconeid. **41st st, No. 120, s. s., 200 w. 6th av, 20x98.9. P. M. Aug 18, 3 years, 5%. Aug 19, 1908. 40,000 Sebastiano, Domenico to Rosa Klinkel. 117th st, No. 419, n. s., 212.9 e. 1st av, 18.9x100.11. P. M. Prior mort \$5,000. Aug 17, due &c, as per bond. Aug 19, 1908. 6:1711. 3,000 Stewart, Thomas J, of Jersey City, N. J, to MUTUAL LIFE INS CO of N. Y. Broadway, No. 1552, n. e. cor. 46th st, 40.5x80. Aug 18, due, &c, as per bond. Aug 19, 1908. 4:999. 150.000 Sievers, Bertha wife of and John of West N. Y. N. J. to EMIGRANT INDUST SAVINGS BANK. 36th st, No. 430, s. s., 375 w. 9th av, 25x98.9. Aug 18, 1908, 3 years, 5%. 3:733. 12,000 Sillcocks, Warren S and Henry to FARMERS LOAN AND TRUST CO. Park row, Nos 160 and 162, runs n. w. 120 x. n. w. 20.6 x. s. e. 26 x. s. 22.8 x. s. e. 91.1 to Park row, x. e. 25 to beginning. Aug 13, 5 years, % as per bond. Aug 18, 1908. 1:160. 20,000 Smith, Cath E to EMIGRANT INDUST SAVINGS BANK. 6th av, No. 818, e. s., 130 s. 47th st, 20x90.2. Aug 18, 1908, 3 years, 5%. 5:1262. 30,000 Schimpf, Frank P to Philip Dinkel. St Nicholas av, Nos 953 to

5:1262.
chimpf, Frank P to Philip Dinkel. St Nicholas av, Nos 953 to 957, s w cor 158th st, 51.9x62x49.11x48.3. Prior mort \$15,000.
Aug 13, due Aug 17, 1909, 6%. Aug 18, 1908. 8:2108. 3,000 eldin, Joe, N Y, and Isaac B Miller, of Union Hill, N J, to Tillie E Moss. 38th st, Nos 411 and 413, n s, 150 w 9th av, 50x98.9.
Prior mort \$——. Aug 17, 1908, 2 years, 6%. 4:1058. 3,000

KING'S WINDSOR CEMENT

For Plastering Walls and Ceilings J. B. KING & CO., No. 1 Broadway, New York

Elastic in its nature, can be applied with 25 per cent. less labor and has 121/2 per cent. more covering capacity than any other similar material.

Thomas, Mary T and T Gaillard and J Metcalfe with SEAMENS BANK FOR SAVINGS in City N Y. Liberty st, No 19, n w cor William st, No 79, 44.2x38.8x34.8x36.7. Extension of \$100,000 mort at 4½%. April 30. Aug 14, 1908. 1:66. nom Thompson, John C to Mary Curran. 52d st, Nos 510 and 512, s s, 176.8 w 10th av, runs e 45 x s 100.5 x w 51.10 x n — to beginning. P M. Aug 17, 5 years, 5%. Aug 18, 1908. 4:1080. 12.500

12,500

Tuckerman, Paul, of Tuxedo Park, N Y, to BANK FOR SAVINGS in City N Y. 69th st, No 115, n s, 185 e Park av, 20x100.5.

July 27, 3 years, 4½%. Aug 18, 1908. 5:1404. 55,000

Thain, Mary T wife of Alex to MUTUAL LIFE INS CO of N Y. 83d st, No 20, s s, 145 w Madison av, 20x102.2. Prior mort \$----. Aug 18, due, &c, as per bond. Aug 19, 1908. 5:1492. 6.000

Terbell, Henry S and Anna Terbell with BOWERY SAVINGS BANK. 43d st, No 142 West. Extension of mortgage for \$23,000 with interest increased from 4% to 4½%. July 31. Aug 17, 1908. 4:-005

U S TRUST CO of N Y, as exr, &c, John H Spellman to ALBANY SAVINGS BANK. Park row, Nos 109 to 113, s e cor Duane st, runs e 50.11 x s 64.6 x w 0.3 to New Chambers st, Nos 1 to 5, x w 70.10 to e s Duane st, x n 14 to beginning. Aug 13, 5 yrs, 5%. Aug 14, 1908. 1:119. 100,000

Same and Geo W Davis with same. Same property. Subordination agreement. July 21. Aug 14, 1908. 1:119. nom Van Wagenen, Susan, James A and Cornelius D to BOWERY SAVINGS BANK. 78th st, No 302, s s, 75 w West End av, 21x102.2. Aug 14, 3 years, 5%. Aug 15, 1908. 4:1186. 20,000

Vandewart, David with METROPOLITAN LIFE INS CO. 151st st, Nos 462 and 464, s s, 100 e Amsterdam av, 50x99.11. Extension of \$48,000 mortgage. Aug 15. Aug 20, 1908. 7:2065.

tension of \$48,000 mortgage. Aug 15. Aug 20, 1908. 7:2065.

nom
White, John B with Maude T Mason. St Nicholas av, No 1543, w s, 15.10 n 187th st, 20x80. Extension mort at increased interest from 4½ to 5%. Aug 11. Aug 19, 1908. 8:2168. nom
Wolf, Eugenia to Adolph J Jantzen. 88th st No 264, s s, 190 w
Broadway, 18x100.8. P M. Prior mort \$15,000. Aug 19, 1908. 3 years, 6%. 4:1235. 3,750
Washington Heights Development and Construction Co to TITLE INS CO of N Y. Audubon av, n w cor 177th st, 94.11x100. Aug 18, 1 year, 6%. Aug 19, 1908. 8:2133. 100,000
Same to same. Same property. Certificate as to above mort. Aug 13. Aug 19, 1908. 8:2133. ——
Workmens Circle and David N Zeman with Margt B Monahan. Henry st, No 213, n s, 46.2 e Clinton st, 23x85. Subordination agreement. Aug 14. Aug 19, 1908. 1:268. nom
Weeks, Henry De Forest with EMIGRANT INDUSTRIAL SAVINGS BANK. Cherry st, Nos 105½ and 107, s s, 50.2 e Oliver st, 33.4x60. Subordination agreement. Aug 17, 1908. 1:251. nom
White, Caroline B with Mary F Sidman. 132d st, No 21 West. Extension of mort for \$6,000 with interest increased from 5% to 5½%. July 31. Aug 17, 1908. 6:1730. nom
Wilson, Max S A and the PUBLIC BANK with May Leinkram. 164th st, Nos 438 and 440, s s, 275 e Amsterdam av, 50x112.4. Agreement correcting description of property in mort. June 22. Aug 18, 1908. 8:2110.

Wittner, Joseph and Louis A Jaffer to Hulda wife of Joseph Wittner. Amsterdam av, Nos 1042 to 1052, n w cor 111th st, No 501, runs n 161.4 x w 112.2 x s 167.4 to st, x e 67.6 to beginning. Prior mort \$294,000. Aug 10, demand, 6%. Aug 18, 1908. 7:1883. 13,000
West, Emily H, of Ballston Spa, Saratoga, N Y, individ and as-

Vest, Emily H, of Ballston Spa, Saratoga, N Y, individ and asextrx Emily H West, John H Burke and Hiram C Todd trustees Geo West to the BALLSTON SPA NATIONAL BANK. Varick st, Nos 5 and 7, n w cor Franklin st, Nos 132 to 140, 87.7x 102.1x87x102.10; Varick st, No 9, w s, abt 87 n Franklin st, 12.6 x50, fee; also Franklin st, No 142, n s, abt 95 w Varick st, 18.9x 87.6, leasehold; Franklin st, n s, 121,8 w Varick st, 1x87.6, leasehold. 1-8 part. Prior mort \$160,000. July 1, demand, 5½%. 1:189. Aug 18, 1908. Notes.

BOROUGH OF THE BRONX.

Under this head the * denotes that the property is located in the new Annexed District (Act of 1895).

Ast, Chas to Lambert Suydam. Oakland pl, n s, 206 w Crotona av, 36.11 to Belmont av, x97.6x37x98. Aug 8, 5 years, 5%. Aug 14, 1908. 11:3080.

Arcangelo, John S to Wm H Gay. Bainbridge av, No 2667, w s, 262.11 n 194th st, 25x76.8x25x75.7. P M. Prior mort \$4,000. Aug 17, 3 years, 5%. Aug 18, 1908. 12:3294. 1,000 *Burlando, J Alfred to Jos P Schwab. 211th st, s s, 157.8 e White Plains road, 57.8x24x57.10x36.7. Prior mort \$500. Aug 19, due, &c, as per bond. Aug 20, 1908. 800 *Same to Rocco Arre. Same property. Aug 19, due, &c, as per bond. Aug 20, 1908. 500 Bierach, Julia and Emily Sankop to Mary Franz. 154th st, n s, 170 w Elton av, 25x100. Aug 1, due, &c, as per bond. Aug 20, 1908. 9:2376. 3,000 *Becker, Margaret wife of and Friedrich or Frederick to Wilhel-

20, 1908. 9:2376.

*Becker, Margaret wife of and Friedrich or Frederick to Wilhelmina Kleine. Harrison av, w s, 125 s McGraw av, 50x90. Aug 19, 1 year, 6%. Aug 20, 1908. 600

*Billar, Wilson P to Imogene Banta. City Island av, n e cor Carroll st, 116x150. Aug 11, demand, 6%. Aug 19, 1908. 500

Brennan, Jennie M to GERMAN SAVINGS BANK. Teller av, No 1373, w s, 661 n 169th st, runs n w 96.3 x n 25.4 x e 93.10 to av, x s 27.2 to beginning. Aug 14, 1908, 3 years, 5½%. 11:2782 and 2783.

Backer, Abraham H to Hyman Levin. Park av, w s, 181 n 175th st, 59.8x150. Prior mort \$6,380.37. June 10, 2 years, 6%. Aug 15, 1908. 11:2900.

Brook Construction Co to City Mortgage Co. Washington av, No 1168, e s, 65 n 167th st, 125x137, except part for av. Building loan. Aug 14, demand, 6%. Aug 15, 1908. 9:2372. 80,000 Same to same. Same property. Certificate as to above mortgage. Aug 14. Aug 15, 1908. 9:2372.

Calcagno, Ross to A Hupfels Sons. Wales av, s w cor 152d st, Saloon lease. July 31, demand, 6%. Aug 18, 1908. 10:2643. 5,000

Criscuolo, Nicoletta and Raffaele Cuomo to LAWYERS TITLE INS & TRUST CO. Webster av. No 2032, e s. 150 n 179th st. 25x100. Aug 14, 1908, 5 years, 5½%. 11:3029. 4,000 *Cohen, Jacob to William Lloyd and ano exrs Henry Lloyd. 172d st, e s. 200 n Gleason av. 25x100. Aug 15, due Sept 1, 1911, 5½%. Aug 17, 1908. (201a). Aug 13, due, &c, as per bond. Aug 17, 1908. (21). Aug 17, 1908. (21). Aug 18, 11:2953. (21). Aug 18, 11:2953. (21). Aug 18, 11:2953. (31). Aug 18, 11:2953. (31). Aug 18, 11:2953. (32). Aug 19, 1908. 9:2293. (32). Aug 18, 1 year. (34). Aug 19, 1908. 9:2293. (35). Aug 18, 1 year. (36). Aug 19, 1908. 9:2293. (36). Aug 18, 5 years, 5%. Aug 19, 1908. 11:3006 and 3012. (4,700). Aug 18, 1908. 11:3006 and 3012. (4,700). Aug 19, 1908. 11:3006 and 3012. (4,700). Aug 19, 1908. 11:3006 and 3012. (4,700). Aug 19, 1908. (4,700). (4,

Diamond, Joseph to Philip C Weber. Mapes av, s e cor 178th st, 47x145,2x46,11x145.2. Aug 19, due July 1, 1910, 5½%. Aug 19, 1908. 11:3107. 4,000 *Dickert, Ignatius E and Mary E with Brigitta and Fredk W Moder. 2d av, or st, w s, lot 1127 and part lot 1126 map of Wakefield, 105x149. Extension of \$2,300 mort at 6%. Aug 12. nom

Moder, 2d av, of st, well as well as a well as a well as to above mort. Aug 10. Aug 12. Aug 18. 1908.

Darey, Edward to TITLE GUARANTEE AND TRUST CO. 170th st, No 805, n s, 133.5 w Bristow st, 16.8x44.5x18.3x51.11. Aug 20, 1908, due, &c, as per bond. 11:2963. 2.250 Donnelly, James F to Fred Judge. Grace av, n e s, 175 s Lyon av, 25x130. P M. Aug 1, 3 years, 6%. Aug 20, 1908. 1,500 Davis & Silverman, a corpn, to LAWYERS TITLE INS AND TRUST Co. Bryant av, w s, 160 s 172d st, three lots together in size, 65x100. Three certificates as to three morts aggregating \$21,500. Aug 18. Aug 20, 1908. 11:2995.

Same to same. Bryant av, w s, 100 s 172d st, 60x100. Certificate as to above mort. Aug 10. Aug 20, 1908. 11:2995.

Davis & Silverman, a corpn, to LAWYERS TITLE INS AND TRUST CO. Bryant av, w s, 160 s 172d st, two lots, each 20x100. Two morts, each \$7,000. Aug 18, 3 years, 5½%, until Aug 18, 1909, and 6% thereafter. Aug 20, 1908. 11:2995. 14,000 Same to same. Bryant av, w s, 200 s 172d st, 25x100. Aug 18, 3 years, 5½%, until Aug 18, 1908. 11:2995.

Same to Walter A Wessel. Bryant av, w s, 100 s 172d st, three lots each 20x160. Three morts, each \$7,500. Aug 17, 3 years, 22,500.

years, 5½%, until Aug 18, 1503, and 0% therearter. Aug 20, 1908. 11:2995. 7,500

Same to Walter A Wessel. Bryant av, w s, 100 s 172d st, three lots, each 20x100. Three morts, each \$7,500. Aug 17, 3 years, 5½%. Aug 20, 1908. 11:2995. 22,500

Goldsmith, Barbara to Moses Dannenberg. Anthony av, No 1959, w s, 52.6 n 178th st, 21x69.11x20x76.4. Aug 18, due, &c, as per bond. Aug 20, 1908. 11:2811. 3,000

Grossman, Samuel and Martin and Ignatz Rosenbaum individ and as firm of Grossman Bros and Rosenbaum to Edgar S Appleby as TRUSTEE. Willow av, n e cor 132d st, 210 to s s 133d st, x100. Aug 19, 5 years, 5½%. Aug 20, 1908. 10:2584. 28,000

Galardi, Maria to Edw J Heilbroner and ano exrs Gertrude H Adler. 188th st, n s, 809.2 e Tee Taw av, 25x100.4x25x104.6. Aug 14, 1908, 5 years, 5½%. 11:3219. 5,000

Galiani, Giosue to Cath A Smyth. Prospect av, s e s, 232 s w 180th st, 33x150. Aug 18, 3 years, 6%. Aug 19, 1908. 11:3109. 4,500

*Giusto, Antonio to Giovannina Turdo. 213th st, s s, 100 e Carlisle pl, and being lot 146 map of lots in Williamsbridge property of W F Duncan, 25x125. Aug 18, due, &c, as per bond. Aug 19, 1908.

German Construction Co to Sarah E Strickland. Mohegan av, e s, 154.10 n 175th st, two lots, each 25x70. Two morts, each \$4,000. Aug 13, due, &c, as per bond. Aug 14, 1908. 11:2958.

8.000

German Construction Co to Sarah E Strickland. Mohegan av, e s, 154.10 n 175th st, 50x70. Certificate as to two mortgages for \$8,000. Aug 10. Aug 14, 1908. 11:2958.

Gargiulo, Pasquale to LAWYERS TITLE INS & TRUST CO. Arthur av, e s, 70 n 187th st, 50x83.2x50x83.5. Aug 14, 1908, 5 years, 5½%. 11:3077.

*Germansky, Max to Laura M Zehner. 234th st, n s, 130.6 e Car penter av, 25.3x114. Aug 6, due Jan 1, 1912, 6%. Aug 14, 1908

Same to F P Hummel. Same property. Prior mort \$3,000. Aug 13, due Mar 1, 1909, 6%. Aug 14, 1908. 1,000 Same to Maria Ott. 234th st, n s, 105.6 e 2d av, 25.3x114.6. Aug 13, due Jan 1, 1912, 6%. Aug 14, 1908. 3,000



VOTE FOR A BRONX QUARTERLY

If you desire a quarterly and annual compilation of these records for the Borough of the Bronx, write to the Realty Records Co., 11 East 24th St., Manhattan. The Bronx Quarterly will be published as soon as a sufficiently large number of letters have been received expressing interest.

*Gejzler, Martin to Magdalena M Bork. 2d st, w s, lot 1133 map Wakefield, 109.6x105. July 31, 3 years, 5½%. Aug 18, 1908. Haag, Marie A to American Mortgage Co. Clinton av, No 1801, w s, 100 s 175th st, 38x127. Aug 20, 1908, 5 years, 5%. 11:-2948. Horenburger, Emma wife of and Herrmann to James G W 159th st, s s, 150 w Elton av, 25x98.1. Aug 18, 1 year, 6%. 19, 1908. 9:2380. 19, 1908. 9:2550.

Horenburger, Emma to Geo Colon. Same property. Pri \$4,700. Aug 17, due Feb 17, 1909, 6%. Aug 19, 1908. Hughes, Jennie to Lillian Gee. 237th st, No 211, n s, 100 e
Keppler av, 40x100. P M. Prior mort \$2,000. Aug 18, 2 years,
6%. Aug 19, 1908. 12:3378.

*Havender, Joseph and Martin to Magdalena M Bork. Morris
Park av, s e cor Van Buren st, 52x—x50x97.6, except part for
Morris Park av or Van Buren st. Aug 1, 3 years, 5½%. Aug
18. 1908. *Havender, Joseph and Martin to Magdalena M Bork. Morris Park av, s e cor Van Buren st, 52x—x50x97.6, except part for Morris Park av or Van Buren st. Aug 1, 3 years, 5½%. Aug 18, 1908.

Irvine Realty Co to Robt E Simon. Irvine st. e s, 257.5 s Garrison av, 50x100. Certificate as to mortgage for \$2,000. July 24. Aug 14, 1908. 10:2761.

Irving Construction Co to James G Wentz. Ryer av, e s, 25 n 180th st, 50x104.11x50x105.4. Building Ioan. Aug 18, demand, 6%. Aug 20, 1908. 11:3144, 3149.

Jackson Construction Co with Walter A Wessel. Bryant av, w s, 100 s 172d st, 3 lots, each 20x100. Subordination agreement of three morts. Aug 13. Aug 20, 1908. 11:3144, 3149.

Jackson Construction Co with Walter A Wessel. Bryant av, w s, 100 s 172d st, 2 lots, each 20x100. Subordination agreement of three morts. Aug 13. Aug 20, 1908. 11:2995. nom Same with LAWYERS TITLE INS AND TRUST CO. Bryant av, w s, 160 s 172d st, 2 lots, each 20x100. Subordination agreement of two morts. Aug 13. Aug 20, 1908. 11:2995. nom Kearney, Francis J to John A Spellman. Ely st (144th st), n s, 75 w Barry st (Leegett av), 125x100. Aug 1, 3 years, 6%. Aug 18, 1908. 10:2736.

Kenyon, Wm F to Percival W Griffing. Arthur av, No 2183, w s, 50 s 182d st, 16.8x80. P M. Prior mort \$6,500. Aug 17, due &c as per bond. Aug 18, 1908. 11:3063.

Kenyon, Wm F to Ellen Mulhare. Arthur av, No 2185, w s, 33.4 s 182d st, 16.8x80. P M. Prior mort \$6,500. Aug 17, due, &c as per bond. Aug 18, 1908. 11:3063.

Kenyon, Wm F to Ellen Mulhare. Arthur av, No 2185, w s, 33.4 s 182d st, 16.8x80. P M. Prior mort \$7,500. Aug 17, due, &c as per bond. Aug 18, 1908. 11:3063.

Kenyon, Van F to Ellen Mulhare. Arthur av, No 2185, w s, 33.4 s 182d st, 16.8x80. P M. Prior mort \$7,500. Aug 17, due, &c as per bond. Aug 18, 1908. 11:3063.

Kenyon the folicient of the first of

164th st, 75x94. Aug 7, due Jan 1, 1912, 5½%. Aug 19, 1908. 9:2524. 6,500

Same to Louisa Hitz. Same property. Prior mort \$6,500. Aug 7, due Jan 1, 1912, 6%. Aug 19, 1908. 9:2524. 2,500

*Lyons, Oscar L and Louis L to Bankers Realty and Security Co. Tremont road, n s, 150 e Edison av, 50x100; Tremont road, n s, 200 e Edison av, runs n 50 x e 112.11 to w s Broadway, x s 59 to road, x w 144.3 to beginning. P M. July 28, 2 years, 5%. Aug 19, 1908. 1,625

Lipkin, Lena to Emil W Klappert. Cauldwell av, w s, 271.11 n e 165th st, runs n e along av, 86.2 x s w along e's Boston road, 102.3 x e 54.11 to beginning. Prior mort \$—. Aug 19, 1 year, 6%. Aug 20, 1908. 10:2622. 1,150

Leiman, Louis with LAWYERS TITLE INS AND TRUST CO. Bryant av, w s, 180 s 172d st, 20x100. Subordination agreement. June 26. Aug 20, 1908. 11:2995. nom Same with same. Bryant av, w s, 200 s 172d st, 25x100. Subordination agreement. Aug 18. Aug 20, 1908. 11:2995. nom Same with Walter-A Wessel. Bryant av, w s, 140 s 172d st, 20x100. Subordination agreement. June 26. Aug 20, 1908. 11:2995. nom Same with Walter-A Wessel. Bryant av, w s, 140 s 172d st, 20x100. Subordination agreement. June 26. Aug 20, 1908. 11:2995. nom Montgomery, C Wm to Laura F Van Riper. Lincoln av. No 166 e s. 25 n 125th st 25x100. Lincoln av, No 166, Montgomery, C Wm to Laura F Van Riper. Lincoln av, No 166 e s, 25 n 135th st, 25x100. P M. Aug 17, due, &c, as per bond Aug 18, 1908. 9:2311. 4.0 Same to Timothy Toohig. Same property. P M. Prior mort \$4, 000. Aug 17, due, &c, as per bond. Aug 18, 1908. 9:2311 *Mooney, Hugh F to Bridget Reilly. Ellison av, e s, 25 n Marrin st, 50x100. Aug 12, 3 years, 6%. Aug 17, 1908. 1.700 McCully, Emma R wife Edw L to Henrietta Shotten. Willis av, w s, 87.6 s 141st st, 12.6x106. ½ part. Aug 12, due June 16, 1909, 6%. Aug 14, 1908. 9:2303. 100 M & V Construction Co to Chas E Rushmore as trustee Waldemar Caspary. Prospect av, Nos 1314 and 1316, on map No 1316, e s, 103.6 n Home st, runs e 100 x n 60 x s w 45.11 x w 59.3 to av, x s 40 to beginning. Aug 13, 3 years, 5½%. Aug 14, 1908. 10:-2694. Same to same. Same property. Certificate as to abovt mortgage Aug 12. Aug 14, 1908. 10:2694.

Same and Meyer Vesell with same. Same property. Subordination agreement. Aug 13. Aug 14, 1908. 10:2694. nom Murphy, Peter E to D J Dillon Co. Concord av, w s, 177.9 n 147th st, 19.9x100. P M. Prior mort \$5,500. Aug 4, due, &c, as per bond. Aug 15, 1908. 10:2579. 2.500 McNulty, John to GERMAN SAVINGS BANK IN CITY N Y. Arthur av, e s, 200 n 178th st, 50x105, except part for av. Aug 13, 1 year, 5½%. Aug 14, 1908. 11:3068. 30,000 Meehan Construction Co to Chas E Adler. Tiffany st, w s, 205 s Dongan st, 35x105. Aug 13, 3 years, 5%. Aug 14, 1908. 10:-2711. 16,000 Marshall. Esther to TITLE GUARANTEE & TRUST CO. Tiffany

2711. 16,000

Marshall, Esther to TITLE GUARANTEE & TRUST CO. Tiffany st, No 1011, w s, 98.11 s 165th st, 30x100. Aug 14, 1908, due, &c, as per bond. 10:2715. 3,500

McGovern, Mary C to Edw F Cole. Plympton av, w s, 183.6 s

Boscobel av, 25x100. Aug 14, 3 years, 5½%. Aug 15, 1908. 9:-2522.

Mulholland, James to GERMAN SAVINGS BANK. Washington av, s w cor 187th st, 50x101. Aug 12, 3 years, 5½%. Aug 19, 1908.

Mulholland, James to GERMAN SAVINGS BANK. Washington av., s w cor 187th st, 50x101. Aug 12, 3 years, 5½%. Aug 19, 1908. 11:3040.

Same to Emil Eckel. Same property. Prior mort \$40,000. Aug 12, due, &c. as per bond. Aug 19, 1908. 11:3040. 9,000 *Nielson, Eliz M to Katharina Gass. Sands av, s s, 150 e Schuyler pl, 25x100. P M. July 17, 3 years, 6%. Aug 15, 1908. 90. O'Connor, Maurice F, of Brooklyn, to The John Stanton Brewing and Malting Co of Troy, N Y. Old road, s s, 100 e Storrow st, 50x82.6. Aug 14, demand, 6%. Aug 17, 1908. *Payne Estate, a corpn, with Ignatius E Dickert. White Plains av, w s, 89 s 220th st, late 6th av, or st, 25x105, Wakefield. Extension of \$5,000 mort at 5½%. Aug 7. Aug 18, 1908. nom *Rosenberger, Ferdinand to Tallmadge W Foster. Terrace Point, n w s, lot 594 map No 651 property Eliz R B King, City Island. P M. Aug 10, 2 years, 6%. Aug 19, 1908. 1.500
*Rogers, Katie C with Bronx Gas and Electric Co. Westchester av, w s, 25.11 s e 2d st, 37.11x112.10x37.6x115.6, Westchester. Extension mort. Aug 14. Aug 18, 1908. nom Ross, Peter to James M Anderson as trustee James W Anderson. 183d st, n s, 70 w Bathgate av, 23x87.6. July 27, 5 years, 5%. Aug 15, 1908. 11:3053. Riegelmann, Edw to Chas H Zumbuehl. 158th st, Nos 421 and 423, n s, 150 w Elton av, 50x100. P M. Prior mort \$43,500. Aug 14, due as per bond, 6%. Aug 15, 1908. 9:2380. 9.250 Roberts, Henry with TITLE GUARANTEE & TRUST CO. Tiffany st, w s, 98.11 s 165th st, 30x100. Subordination agreement. Aug 14, 1908. 10:2715. nom Riley, Eliz J to Amelia Schlesinger. 179th st, No 232, s s, 80.2 w Anthony av, 25x69.9x25x69.6. P M. Aug 14, 4 years, 5½%. Aug 20, 1908. 11:2811. 3,000. Aug 14, due oct 14, 1908, 6%. Aug 20, 1908. 11:2811. 1,750 Rothstein, Abraham C with Walter A Wessel. Bryant av, w s, 100 s 172d st, 2 lots, each 20x100. Subordination agreement of 2 morts. July 30. Aug 20, 1908. 11:2995. nom *Ringelstein, Chas to Geo Hauser. Garfield st, e s, 150 s Morris Park av, 25x100. Aug 18, due Jan 1, 1912, 5½%. Aug 20, 1908.

*Ringelstein, Chas to Geo Hauser. Garfield st, e s, 150 s Morris Park av, 25x100. Aug 18, due Jan 1, 1912, 5½%. Aug 20, 1908.

Rock Plaster Mfg Co of N Y to Mary S Stevens of Hoboken, N J. Bulkhead line East River at line bet lands of East Bay Land & Impt Co and N Y, N H & H R R Co, runs e along bulkhead line, 350 x n 500 x w 350 x s 500 to beginning, with all title to land under water and a right of way from said premises to Leggett av, with buildings, dock, &c. P M, except machinery, &c. Prior mort \$80,000. July 31, due July 1, 1928, 3½% for 1st 10 yrs, and thereafter 4%. Aug 17, 1908. 10:2604 and 2605. 300,000 Same to same. Same property. Certificate as to above mort. Aug 13. Aug 17, 1908. 10:2604 and 2605.

Schnath, Caroline to TITLE GUARANTEE AND TRUST CO. 201st st, n s, 100 w Valentine av, 25x100. Aug 17, due, &c, as per bond. Aug 18, 1908. 12:3307.

Strang, Emily guardian estate Julia E Strang with Conrad Mueller. Stebbins av, e s, 408.9 n Freeman st, 25x73.5x25.11x80.4. Extension of mort for \$3,000 at 5%. Feb 20. Aug 17, 1908. 11:-

rang, Emily guardian estate Julia E Strang with Conrad Mueller. Stebbins av, e s, 408.9 n Freeman st, 25x73.5x25.11x80.4. Extension of mort for \$3,000 at 5%. Feb 20. Aug 17, 1908. 11:-2965.

*Spero, Sarah wife of and Joseph to Heyman Pincus. St Lawrence av, n w cor Merrill st, 25x100. Aug 17, 2 years, 6%. Aug 18, 1908. Sands, Charles to A Hupfels Sons. Westchester av, No 914. Sa loon lease. All title. Aug 1, demand, 6%. Aug 18, 1908. 10: 2644.

loon lease. All title. Aug 1, demand, 6%. Aug 18, 1908. 10:-2644.

*Shatzkin (A) Sons, Inc, to Henry Schatzkin and ano. 213th st, s s, 150 w 5th av, 25x—x—x136, Laconia Park. Aug 17, due Sept 1, 1909, 6%. Aug 18, 1908.

Simax Realty Co to Wm R Rose. Southern Boulevard, w s, 375 n Jennings st, 75x100. July 31, due, &c, as per bond. Aug 14, 1908. 11:2977.

Steinbeck, Edward C H to Fannie S Grady. 180th st, n w cor Prospect av, 26x100. Prior morts, \$6,500. Aug 1, 3 years, 6%. Aug 14, 1908. 11:3096.

Schroeder, Otto P to Isabella G Forsyth. 237th st, No 215, n s, 140 e Keppler av, 40x100. P M. Aug 18, 5 years, 6%. Aug 19, 1908. 12:3378.

Same to same. 237th st, No 211, n s, 100 e Keppler av, 40x100. P M. Aug 18, 5 years, 6%. Aug 19, 1908. 12:3378. 2,000

Stahl, Richard, of Brooklyn, N Y, to Otto P Schroeder. 237th st, No 215, n s, 140 e Keppler av, 40x100. P M. Aug 18, due, &c, as per bond. Aug 19, 1908. 12:3378. 200

Sawyer, Nathaniel B to Wm H Wright & Son, a corpn. Briggs av, No 2661, w s, 171.8 n 194th st, 22x77.2x22.1x74.11. P M. Aug 17, 3 years, 6%. Aug 19, 1908. 12:3300. 2,200

Schrag, Louis to Wm H Steinkamp. Jerome av, e s, 33.9 n Tremont av, 50x100. Aug 17, 1 year, 5½%. Aug 19, 1908. 11:-2854

Superposition of the scholar property of the strip in front bet old north line of we courtlandt av 25x100 with strip in front bet old north line of

2854
Stadta, Martin to Anna Zindel. 155th st, No 321 (553), n s, 350 w Courtlandt av, 25x100, with strip in front bet old north line of Mary st, and present n s of 155th st, 25x0.11. Aug 14, 3 years, 5½%. Aug 17, 1908. 9:2415.

Same to Hannah Wills. 155th st, No 319 (551), n s, 375 w Courtlandt av, 25x100, with strip in front as above, 25x0.11. Aug 14, 3 years, 5½%. Aug 17, 1908. 9:2415. Aug 5,000

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Mortgages.

Streebrook Realty Co to Earle V and Vivien Rodgers. Bathgate av, No 1822, e s, 128.5 n 175th st, 41.6x98.2x41.6x99.1. Aug 14, 3 years, 5½%. Aug 17, 1908. 11:2923. gold, 32,000 Same to same. Same property. Certificate as to above mort. Aug 15. Aug 17, 1908. 11:2923. *Shea, Henry R to Katharina Gass. 4th st, s s, 270 w Union av, 23x110, Westchester. Aug 12, 1 year, 6%. Aug 20, 1908. 150 *Schittler, Julius to Herman F Epple. White Plains road, s w cor King st, as in 1869, 100x25. Aug 19, 5 years, 5%. Aug 20, 1908. Silverman, Frank E with LAWYERS TITLE INS AND TRUST CO. Bryant av, e s, 160 s 172d st, 20x100. Subordination agreement. Aug 14. Aug 20, 1908. 11:2995. Tremont Building Co to Liberty Mortgage Co. Simpson st, e s, 99.11 s Home st, 50x100. Building loan. Aug 13, due, &c, as per bond. Aug 14, 1908. 10:2728. 26,000 Same to same. Same property. Certificate as to above mortgage. Aug 12. Aug 14, 1908. 10:2728. Vogel, Abraham H to 174th St Construction Co. 174th st, s s, 37.6 w Bathgate av, 38.6x100.2x38.6x100.3. Prior mort \$36,500. Aug 17, 2 years, 6%. Aug 18, 1908. 11:2915. 3,500

Same to same. 174th st, s s, 76 w Bathgate av, 38.5x100.2. mort \$37,500. Aug 17, 2 years, 6%. Aug 18, 1908. 1

Weller, Hattie to Minnie Wollner. Crotona av, w s, 129.6 s 182d st, 25.1x100. Prior mort \$5,000. Aug 17, due Jan 1, 1910, 5½%. Aug 19, 1908. 11:3083.

*Wazeter, Leon F to Mary M Guilford. 5th av, e s, at n s lot 180, runs e 105 x n 14 x w 105 to av, x s 14 to beginning, being part lot 179 map Wakefield. Given as collateral security for mort of \$5,000. June 29, 2 years, 5½%. Aug 19, 1908. 5,000

Walden, Charles to Lillian E Moffett. 170th st, s s, 100 lege av, 25x103.8x25x104.11. Aug 19, 3 years, 5½%. 1908. 11:2784 and 2783. 100.1 e Col-%. Aug 20, 5,000

Weinbeer, Paul F to Max Germansky. 234th st, n s, 105.6 c Carpenter av, late 2d st, 25.3x114.6. P M. Prior mort \$3,000 Aug 13, due Jan 1, 1912, 6%. Aug 14, 1908. 1.350

Zumbuehl, Chas H to Milton Realty Co. 158th st (Milton st), Nos 421 and 423, n s, 100 w Elton av, 50x100. Prior mort \$42,500. Apr 13, due as per bond, 6%. Aug 15, 1908. 9:2380. 13,0 13,000

JUDGMENTS IN FORECLOSURE SUITS.

Aug. 13.

Aug. 13.

Tacoma st, s s, 200 e St Lawrence av, 25x75x 27.2x85.7. Martin L Henry agt Louise Muller; Morris Cooper, att'y; Thomas F McGowan, ref. (Amt due, \$458.36.)

117th st, s s, 275 e 2d av, 37.6x100.11. John T Willets gdn agt Jacob Hirschhorn et al; Wilson M Powell, att'y; Marcel Levy, ref. (Amt 106th st, No 22 East. Alexander D Lewis agt Maurice Sandberg et al; Goldfogle, Cohn & Lind, att'ys; Benjamin Jackson, ref. (Amt due, \$4,130.67.)

Aug. 14.

Cherry st, No 383. Rosie Gutkin agt Annie Berger; Max Silverstein, att'y; Newell Lyon, ref. (Amt due, \$3,350.12.)
112th st, n s, 295 w 3d av, 25x100.10. Julia Kreizer agt Jacob Levin; J C Levi, Weil & Newhouse, att'ys; Henry J Goldsmith, ref. (Amt due, \$6,838.35.)

Aug. 15.

Aug. 16.

127th st, No 56 West. Chas G Silverberg agt
Felicia S Chapira et al; William Bondy, att'y;
Francis W Pollock, ref. (Amt due, \$11,931.25.)
7th av, s e cor 133d st, 25x100. Charles Weisberger agt Helene Stein et al; Arnold Lichtig,
att'y; Saul S Myers, ref. (Amt due, \$11,\$26.20.)

Aug. 17.
No Judgments in Foreclosure Suits filed this

Bainbridge av, s e s, 404.7 s w 196th st, 24.6x 111.3x24.7x108.9. Central Mortgage Co agt Albert C Lum; Otis & Otis, att'ys; Norman J Marsh, ref. (Amt due, \$6,727.49.)

Aug. 19.

No Judgments in Foreclosure Suits filed this

LIS PENDENS.

Aug. 15.

125th st, No 543 West. Joseph Schanske agt Catelina D V Potter; action to foreclose me-chanics lien; att'y, H Kuntz. Aug. 17.

Aug. 17.
23d st, Nos 131 and 133 East.
Lexington av, No 28.
113th st, No 74 East.
74th st, No 315 East.
131st st, No 142 West.
122d st, Nos 331 and 333 East.
133d st, No 55 West.
Arthur R Parsons agt Ralph M Holzman et al; action to impress trust, etc; att'ys, Oppenheimer & Schreier.
Popham av, w s, 121 n 176th st, 25x100. Thomas F J Moffett agt T Francis Flood et al; action to foreclose mechanic's lien; att'y, D Arthur.
Aug. 18.
No Lis Pendens filed this day.

No Lis Pendens filed this day.

No Lis Pendens filed this day.

Aug. 19.

30th st, No 147 East. Louis Meyer agt Bessie Freed et al; specific performance; att'y, M J Katz.

141st st, s s, 170 e Broadway, 55x99.11. Otis Elevator Co agt Carl R Finestone et al; action to foreclose mechanics lien; att'y, W H Brady. Av A, e s, 102.2 s 73d st, 25x98, and property in Westchester County. Mary Higgins agt Charles Westal et al; partition; att'y, A Bloch. Lafayette st, No 240. Frank H Applegate agt Ida A Drake et al; action to recover possession; att'y, J A Timony.

Katonah av, n w cor 237th st, 100x100. Luther W Eaton agt Hibbert C Simmonds et al; action to foreclose mechanics lien; att'y, D Mathewson.

125th st, s s, 180 e 5th av, 45x96.7. Clifford L Miller agt Adolph Kerbs et al; action to foreclose mechanics lien; att'ys, Miller & Bretzfelder.

Aug. 20.

Aug. 20.

3d st, Nos 127 and 129 East. Thomas
Laughlin agt J Henry Yockel; action
close mechanics lien; att'y, J Kearney.

Aug. 21.

25th st, No 14 East. Rudolf Gersmann agt Aldhouse Construction Co et al; action to fore-close mechanics lien; att'ys, Katz & Som-merich.

close mechanics lien; attys, Katz & Sommerich.

97th st, No 228 East. Morris Levin agt William Gerzog et al; action to foreclose mechanics lien; attys, Marcuson Bros.
3d av, No 208. Max Rothbart agt Davis Sussman, admr, et al; action to foreclose mechanics lien; atty, J Blumofe.
3d av, No 1791. Aaron Honig agt Israel Wol-

chok et al; action to set aside deed; att'y, S H Kunstlich.
Lexington av, No 1634. Aaron Honig agt Israel Wolchok et al; action to set aside deed; att'y, S H Kunstlich.

FORECLOSURE SUITS.

Aug. 15.

135th st, No 563 East. Charles Schaefer agt Leopold Kaufman et al; att'y, H W Webber. Av D, No 42. Bene Posner agt Abraham Geller et al; att'y, A S Weltfisch.

74th st, No 345 East. Guiseppe Miceli agt Ferdinand Gattella et al; att'y, F C Hunter.

Inwood av, e s, 404.11 n Gerard av, 25x100.

Jerome av, w s, 404.11 n Gerard av, 25x100.

Jerome av, w s, 404.11 n Gerard av, 25x125.

Two actions. David S Bingham agt Robert L Buddin et al; att'y, T W Foster.

Aug. 17.

Av A, n e cor 55th st, 25.5x79.8. Leon S Altmayer et al agt Harry Lessen et al; att'y, A Erdman.

116th st, s s, 225 e Amsterdam av, 50x100.11.

George Baum agt Clinton W Kinsella et al; att'ys, Phillips & Samuels.

Lots 201, 202 and 203, amended map of Cammann Estate, Fordham Heights, The Bronx. Mary Mapes agt Frank J McArdle; att'ys, Salter & Steinkamp.

Morris av, w s, 50 n 153d st, 50x100. George Higgins agt Raffaele Marrazzi et al; att'y, W E Phelps.

74th st, s s, 213 e 1st av, 25x102.2. Bertha Salvin agt Simon Alexander et al; att'ys, Horwitz & Wiener.

39th st, No 312 East. Sarah Bach agt Pasquale Pati et al; att'y, M Cooper.

Aug. 18.

Madison av, n e cor 96th st, 101.10x100. Twelfth Ward Bank of the City of N Y agt Arthur

Aug. 18.

Madison av, n e cor 96th st, 101.10x100. Twelfth Ward Bank of the City of N Y agt Arthur E Silverman Building Company et al; att'y, W A Lockwood.

83d st, No 166 East. William McBrien agt Lena Holl et al; att'y, A C Weeks.

Madison av, w s, 60 n 116th st, 40.11x110. Philip Finkelstein agt Benjamin Natkins et al; att'y, J Cohen.

116th st, No 322 East. Jacob Wertheim et al exrs agt Herman L Reis et al; att'ys, Bandler & Haas.

Madison av, w s, 60 n 116th st, 40.11x110. Herman Lakritz agt Benjamin Natkins et al; att'y, J Cohen.

Aug. 19.

Cherry st, No 416. Morris H Glas agt Robert Grosberg et al; att'y, M A Rabinovitch.

167th st, s s, 100 w Southern Boulevard, 74.11x 100. James Young agt Thomas J Mooney et al; att'ys, Joyce & Hoff.

Wooster st, Nos 84 to 88.

Spring st, Nos 134 and 136.

Germania Life Ins Co agt Pauline Gemprecht et al; amended; att'ys, Dulon & Roe.

Park av, e s, 275 n 179th st, 25x141. John J Brady agt James H McManus et al; att'ys, Moran & Healy.

Broadway, n w s, 152 s w Houston st, 25x200 to Mercer st. Herman Wronkow agt Simon Unfelder et al; att'y, D S Ritterband.

Uhfelder et al; att'y, D S Ritterband.

Aug. 20.

Convent av, s w cor 129th st, runs s — x w 76.5 x n 244.6 to 129th st, x e 114 to beg. James H Beals agt David Cohen et al; att'y, E C Duvall.

Edison av, w s, 175 n Tremont rd, 25x190 to Pilgrim av. Benjamin Gainsborg agt Frank M Abbott et al; att'ys, Gross & Sneudaira.

Pilgrim av. e s, 150 n Tremont rd, 25x190 to Edison av. Casta Gainsborg agt Frank M Abbott et al; att'ys, Gross & Sneudaira.

146th st, Nos 793 and 795 East. William Gratz et al agt Edward Greenberg et al; amended; att'ys, Stroock & Stroock.

136th st, n s, 474.6 e St Ann's av, 25x100. Hermine L Krieg agt Ben Cohen et al; att'ys, H A & C E Heydt.

129th st, No 56 West. Caecilie Ettinger agt Ida Posternack et al; att'y, I J Ettinger.

Stanton st, n e cor Lewis st, 25x75. Daniel J Griffith agt Barned Cohen et al; att'y, W Beach.

Aug. 21.

Aug. 21.

3d st, No 218 East. Leopold Hellinger agt James Kalman et al; att'y, S Hellinger. Thompson st, No 60. August Levi agt Nicoll Deoptatis et al; att'ys, Rosenthal, Steckler & Levi.

Van Nest av, e s, lot 496, map of Van Nest Park, 25x100. Charles Dettner agt Chas M Carlson et al; att'ys, Wager & Acker.

117th st, No 416 East. Nathan Abrahams et al agt Bennie Greenberger et al; att'ys, Stroock & Stroock.

110th st, n s, 154.2 w 2d av, 112.6x100.11, three actions. Abraham D Weinstein agt Hyman Schlesinger et al; att'ys, Freyer, Hyman & Jarmulowsky.

Crimmins av, w s, 312.4 n 141st st, 75x80. Jacob Bluestein agt Abram G Abramson et al; att'ys, Cohen Bros. 135th st, No 557 East. Edw L Coster agt Will-iam Fritzel et al; att'ys, Anderson, Pendel-ton & Anderson.

JUDGMENTS

In these lists of Judgments the names alphabetically arranged and which are first on each line are those of the judgment debtor. The letter (D) means judgment for deficiency. (*) means not summoned. (†) Signifies that the first name is fictitious, real name being unknown. Judgments entered during the week and satisfied before day of publication, do not appear in this column, but in list of Satisfied Judgments.

The Judgments filed against corporations, etc.,

will be found at the end of the list.
Aug.
15 Allen, James A-I C Bishop\$35.14
17 Alpert, Max—C A Swigert
17 Andrew, Horace T-J C Andrew.costs, 122.98
19 Adams, Louis-J D Quackenbos169.11
19 Arvenia, Gaetano—E Kohn et al265.35
20 Andrus, Harry M & John A Holm-C M
Anderson
15 Brill, William-J A Murray285.55
15 Burt, Walter, William & Horace-Ballou-
Dickson Co48.67
15 Bausch, Valentine & Marie-C F Fischer
Lumber Co
17 Brandt, William-The F & M Schaefer
Brewing Co
17 Beach, Clarence L-G Truman & Co310.70
17 Buzzell, Jesse N, personally, Jesse N Buz-
zell, Hyman Gundel & Bessie Buzzell-
Homestead Bank of Brooklyn1,088.54
17 Brookes, Esther E-N Y Cab Co194.18
17 Balluff, Wilhelmina—E Schwaizer273.63
17 Bellmer, Edward F-N Y Tel Co81.08

18 Bonvie, Thomas H-F W Irish Electric Co.

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GERMAN AM<u>ERI</u>CAN

ANNUAL CAPACITY 3,000,000 BBLS

"THE ABSOLUTELY SAFE CEMENT"

This Brand

15	Dougherty, Patrick—the same303.90
15	Doughty, William E-C C Sibley et al. 142.86
17 17	De Brerd, Frederick B—the same218.35
17 17	Delgardo, Geo P—the same114.70
17	Drescher, Oswald—the same37.81
17 17	Douglass, John L & Co-N Y Tel Co. 59.74
17	Dougherty, Patrick—the same
17	H P Talmage, 2d
17	Derrin, Sarah-L R Jones113.02
19 20	Dunn, Wm S-Syracuse Stove Works32.98 Delafield Violetta W-I I White Ir et al.
20 20	Dunn, Wm S—Syracuse Stove Works. 32.98 Delafield, Violetta W—J J White Jr et al
20	the same—M W White et al32.27
20 20	Dahlberg, John A. Harry F Flock, F G
-	Crawford, John A Dahlberg and Harry F
	Crawford, John A Dahlberg and Harry F Flock, indiv—Quick Transit Realty Co.
20	Doull, Reginald-Ludwig Baumann & Co.
20	Damainville, Ludovic A-L G Losere. 297.81
21	Dimlap, Charles-Morning Telegraph Pub
17	Empress Mfg Co-City of N Y84.68
18	Eddleman, Joseph—W E Witherspoon. 360.53
$\frac{20}{21}$	Emmerson, Joseph E exr—City of N Y59.92
$\begin{array}{c} 21 \\ 15 \end{array}$	Ermen, Emma—D J Fox
15	Findley, Robert L—the same218.35
15 15	Fulkerson, Wm S—the same218.35 Farr Geo I—the same
17	Fleischmann, Joseph H & Edgar A Whit-
17	ney—Ross Lumber Co
17	Fowle, A L Co—S Wallace224.41
18 18	Franklyn Chas—C Roak
18	Finnigan, Mary, admx-N Y Cont'g Co
19	Feld, Joseph—H Katz189.11
19	Frey, Isidor—A Rosendahl22.71
19	People. &c 2,500.00
19	Fuchs, Emil E-A Sonnenschein191.91
20	Fitz Geraid, Mary A—J J White Jr et al.
$\frac{20}{20}$	the same—E W White et al358.37
20 20 20	the same—V A Delafield207.50
20	Foote, Randal H-J T Reinhardt129.79
$\frac{20}{20}$	Franscella, Dominick—M Hasbrouck et al
21	Eritzel Geo I William and Flizabeth
-1	G J Haase
21	Damainville, Ludovic A—L G Losere. 297.81 Dimlap, Charles—Morning Telegraph Pub Co. 173.95 Empress Mfg Co—City of N Y. 84.68 Eddleman, Joseph—W E Witherspoon. 360.53 Ehrenreich, Anna—C First et al. 87.53 Emmerson, Joseph E exr—City of N Y . 59.92 Ermen, Emma—D J Fox . 245.67 Fadden, Christopher F—City of N Y . 218.35 Findley, Robert L—the same. 218.35 Fiulkerson, Wm S—the same. 218.35 Fulkerson, Wm S—the same. 218.35 Farr, Geo L—the same. 218.35 Fleischmann, Joseph H & Edgar A Whitney—Ross Lumber Co. 406.03 Fritzel, Geo L—H Both & Sons. 77.52 Fowle, A L Co—S Wallace. 224.41 Farmer, Edward—M Rosenfield et al. 78.60 Franklyn, Chas—C Roak. 218.21 Finnigan, Mary, admx—N Y Cont'g Co. Feld, Joseph—H Katz . 189.11 Frey, Isidor—A Rosendahl . 22.71 Freedman, Julius & Henry J Schneider—People, &c
21 21	Fleisch, Simon, Charles & Jacob—G Brenzinger zinger
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21 21 21 21 15 15 17 17	Fleisch, Simon, Charles & Jacob—G Brenzinger 123.87 Figgee, William F—P F Koegh49.66 Fuhrer, William—B K Bloch289.36 Feller, Harry—F A Brohmer et al268.86 Geldert, Louis M—Broadway Building Co
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20 White, May W & Lucy A Morris—the same
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20 White, Eliza W & Caroline—the same,
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17	The Tuma River Plantation Co of Nicaragua—D O Mills
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-	colm Co
19	Total Bealty Co Lester Cohen Lester
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H Horowitz & Isaac R Horowitz—H McNabb
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Waters, Bertram H-W A McLaughlin. 1908.
D to H D D D Dittor et al 1008
Walters, Bertram H-D B Butler et al. 1908.

CORPORATIONS.

¹Vacated by order of Court. ²Satisfied on apeal. ³Released. ⁴Reversed. ⁵Satisfied by exeution. ⁶Annulled and void. peal. 3 cution.

MECHANICS' LIENS

Aug. 15.

Aug. 18.

August 22, 1908



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Aug. 20.

BUILDING LOAN CONTRACTS.

Aug. 17.

172d st, e s, 200 n Gleason av, 25x100. T Emory Clocke as atty loans Jacob Cohen to erect a —sty building; — payments....4,000 Mead av, s s, 250 e Garfield st, 25x100. T Emory Clocke as atty loans Felix and Maria Farago to erect a —sty building; — payments.....4,000 Parker av, w s, 25 n St Raymond av, 25x100. T Emory Clocke as atty loans Mary M De Canio and Katie Marcon to erect a —sty building; — payments.....4,000 Aug. 19.

SATISFIED MECHANICS' LIENS.

Aug. 15.

Aug. 17.

Garfield st, e s, 100 n Van Nest av. Church
E Gates & Co agt First Van Nest Hebrew
Congregation et al. (Aug 14, 1908)....365.29 Aug. 18.

¹Discharged by deposit. ²Discharged by bond. ³Discharged by order of Court.

ATTACHMENTS.

Aug. 13.

Atlas Motor Car Co; Frank E Malone; \$4,000; W B Donihee.

Horton Basket Machine Co; Fletcher, McCutchen & Brown; \$2,605.41; J H Richards.

Aug. 15.

Goodrich, Henry I; Nelson A Ransohoff; \$949.20;
L B Pollak.
Ashley Mfg Co; Tolar & Hart; \$2,407.11; Battle & Marshall.

CHATTEL MORTGAGES.

Aug. 14, 15, 17, 18, 19 and 20.

AFFECTING REAL ESTATE.

Barker, J. 168 Centre. S A Barker, Gas and Electric Fixtures.

Landau H Co. 143d st near 7th av..Gurney H Co. Boilers.

Shiffman, F. 56 W 129th..O Weinberg.

Range, Boiler, etc.

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